



PLANNING COMMISSION

July 10, 2025 at 4:00 P.M.

City Hall, 3rd Floor, Council Chambers, 1737 Main Street, Columbia, S.C., 29201

**MAJOR SUBDIVISION PRELIMINARY PLAT REVIEW CASE SUMMARY
±65 ACRES, SOUTH OF SENATE STREET, WEST OF PENDLETON STREET,
NORTH OF BLOSSOM STREET, EAST OF THE CONGAREE RIVER, TMS#08910-01-01,
08910-01-02, 08911-01-08, 08911-01-13, AND 08911-01-14
WILLIAMS STREET FROM SENATE TO BLOSSOM STREET,
DEVINE STREET EXTENSION, GREENE STREET EXTENSION,
AND PENDLETON STREET EXTENSION**

Council District: 3
Proposal: Request preliminary plat approval for the construction of roads.
Applicant: Travis Basnett, PE - Hussey Gay Bell
Proposed Use: Commerical
Staff Recommendation: Approval with staff comments.

DETAIL

Over the years, there have been many City plans that show the extension of Williams Street between Blossom Street and Senate Street. This application will make this long awaited extension a reality.

This project entails the extension of Williams Street between Blossom Street and Senate Street. In conjunction with the Williams Street extension, Devine Street, Greene Street, and Pendleton Street will be extended west and will connect to the proposed Williams Street.

Williams Street from Senate Street to Blossom Street will contain variable ROW widths between ±65 ft. to ±79 ft. This ROW section will contain sidewalks on both sides of the street, landscaping, street lighting, bicycle facilities, and a bridge. In addition, there is a roundabout at the intersection of Williams Street and Greene Street.

The Devine Street extension west of Huger Street will contain variable ROW widths between ±73 ft. to ±57 ft. sidewalks on both sides of the street, bicycle facilities, landscaping, and street lighting. In addition, Devine Street will be extended west of the proposed Williams Street towards the Congaree River. This section of ROW will contain retaining walls.

The Greene Street extension west of Huger Street will contain an 100 ft. ROW width with sidewalks on both sides of the street, landscaping, and street lighting. This section of Greene Street will terminate into a roundabout that will contain safety railings and a view of the river.

The Pendleton Street extension west of Huger Street will contain an 100 ft. ROW width with sidewalks on both sides of the street, reverse angled on-street parking, landscaping, and street lighting.

The applicant is also requesting a variances to Section 17-6.2 (c) (1) Minimum Right-of-Way Width of the Unified Development Ordinance (UDO) to allow variable right-of-way widths instead of the required 100 ft. for arterial roadways. The City Engineer has reviewed and approved this request. In accordance with Section 17-2.5(t)(4)a. regarding Land Development Variances, the Planning Commission must find the following:

- (i) There are extraordinary and exceptional conditions, such as a peculiar shape or topography, pertaining to the particular piece of property;
- (ii) These conditions do not generally apply to other properties in the vicinity;
- (iii) These conditions are not the result of the applicant's own actions;
- (iv) Because of these conditions, the application of this Ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property;
- (v) The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the zoning district where the property is located will not be harmed by the granting of the variance;
- (vi) The reasons set forth in the application justify the granting of the variance, and the variance is the minimum variance that will make possible the reasonable use of the land, building or structure; and
- (vii) The granting of the variance will be in harmony with the general purpose and intent of this Ordinance, and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

In accordance with Section 17-2.5(j)(6) of the Unified Development Ordinance, the Planning Commission shall approve a Preliminary Plat application upon a finding that the proposed Preliminary Plat is in substantial conformity with the approved Sketch Plan and complies with the standards in Article 6: Land Development (Subdivision) Standards, any other applicable standards in this Ordinance, and any other applicable City ordinances and regulations. Staff has reviewed the preliminary plat and determined that it is in substantial conformance with the approved sketch plan.

Should the Commission be inclined to grant approval of the site plan, staff requests that the Commission grant approval subject staff comments and makes the finding that all of the criteria for the variance and preliminary plat are met.

CITY REVIEWING AGENCY COMMENTS

Planning & Development Services	<p>Recommend approval with conditions:</p> <ol style="list-style-type: none"> 1. Planning Commission approval is for the roadway extensions only and subdivision of the remaning parcels will be handled administratively by staff. 2. Minor revisions to the preliminary plat to reviewed and approved by the City Engineer and Planning and Development Services staff.
Utilities	Recommend approval with conditions:

	<ol style="list-style-type: none"> 1. Any needed upgrade, extension or relocation of City utilities must be provided by the developer and must meet the City's design standards. 2. Any privately owned/maintained utilities or permanent structures cannot be located inside exclusive City of Columbia utility easements. 3. Water/Sewer mains, 4" and above water meters or any privately maintained utilities will not be allowed inside public right-of-ways without an approved encroachment permit and written approval from the City Engineer. 4. Easements for future expansion of the water and sewer systems to serve adjacent property may be required. If required these easements must be reserved at 600' intervals along the boundary of the property to allow future connection to the water/sewer system.
Traffic Engineering	Recommend approval.
Forestry	Recommend approval.
Stormwater	<p>Recommend approval with conditions:</p> <ol style="list-style-type: none"> 1. Development must comply with all applicable land disturbance requirements. 2. Development must comply with all floodplain and wetland requirements.
Parking Services	Recommend approval.
Street Division	Recommend approval.
Solid Waste	Recommend approval.
Fire	Recommend approval.



Williams Street Connection

This map was prepared using
the City GIS Viewer
City of Columbia - GIS Division
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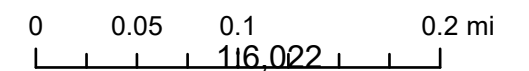


Street & Ownership

CFCC, Ownership

Interstate

- Highway
- City Maintained
- State Maintained
- Private
- Others
- Columbia City Limits



1:6,022

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Williams Street Connection

This map was prepared using the City GIS Viewer
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Street & Ownership Design Overlays

CFCC, Ownership	District Name
Interstate	City Center Design Overlay District
Highway	Five Points Design Overlay District (Lower)
City Maintained	Five Points Design Overlay District (Upper)
State Maintained	Innovista 150 Foot Height Buffer Area
Private	Innovista 55 Foot Height Buffer Area
Others	Innovista 75 Foot Height Buffer Area
Columbia City Limits	Innovista 80 Foot Height Buffer Area
	Innovista Design Overlay District

Zoning Districts

Zoning District
DAC: Downtown Activity Center/Corridor
RAC: Regional Activity Center/Corridor
CAC: Community Activity Center/Corridor
NAC: Neighborhood Center/Corridor
O-I: Office and Institutional District
GC: General Commercial District
MC: Mixed Commercial District

Zoning Districts

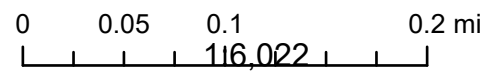
MU-2: Mixed-Use
MU-1: Mixed-Use
RSF-3: Residential Single Family - Small Lot District
RSF-2: Residential Single Family - Medium Lot District
RSF-1: Residential Single Family - Large Lot District
RM-2: Residential Mixed
RM-1: Residential Mixed
RD-MV: Residential Two-Family - Mill Village District
RD: Residential Two-Family District
HI: Heavy Industrial District

Zoning Districts

LI: Light Industrial District
EC: Employment Campus District
PD: Planned Development
T/C: Transitional/Conservation District
LL-R: Large Lot - Reserve District
INS-FJ: Institutional - Fort Jackson District
INS-U/M: Institutional - University/Medical District
INS-ZOO: Institutional - Riverbanks Zoo and Gardens District
INS-T/U: Institutional - Transportation/Utilities District
INS-GEN: Institutional - General District

Zoning Districts

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Major Subdivision – Preliminary Plat Application and Checklist

Checklist for All Applications

A complete preliminary plat application shall include the following information. Please initial to signify that the requested information has been provided.

		Applicant Initials	Staff Initials
A copy of this Application Checklist , completed by the applicant.		TB	
A completed and signed Application Form		TB	
Letters of Agency for all applications where the applicant is not the owner of the subject property		TB	
Payment of the required fee (see the Fee Schedule in Appendix ⇐ of the Procedures Manual)		TB	
Preliminary Plat Multiple sheets may be required. Please see page 4 below for required content.	1 copy: min. 18 x 24 inches or 1 digital copy (pdf format)	TB	
Landscape Plan Please see below for required content.	1 copy: min. 18 x 24 inches or 1 digital copy (pdf format)	TB	



Major Subdivision – Preliminary Plat

Application and Checklist

1. Applicant Information

Name Travis Basnett, PE
Company (if applicable) Hussey Gay Bell
Address (street, city, state, zip)
[Redacted]
[Redacted]

2. Property Information

Address Williams Street at Blossom Street and Senate Street		
Tax Map Reference Number(s) R08910-01-01, R08911-01-14, R08910-01-02, R08911-01-08, R08911-01-13		
Current use Vacant	Proposed use Infrastructure - Linear	
Current zoning MC - Mixed Comercial	Number of lots N/A	Total acreage +/- 65 acres

3. Property Status

Pursuant to S.C. Code § 6-29-1145, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this permit? Yes No

4. Property Ownership

Does the applicant own the property? Yes No

If the applicant does not own the property, complete the **Letter of Agency** for each property owner that authorizes the applicant to submit this application on the property owner's behalf.

<i>For staff use only</i>	
Date received (M/D/Y): ____/____/____	By: _____



Major Subdivision – Preliminary Plat

Application and Checklist

5. Approved Sketch Plan

Please provide the case number of the approved sketch plan related to this application:

SPLAT-2025-0046

6. Additional Submission Requirements

Preliminary Plat

The proposed preliminary plat shall be prepared to scale and fully dimensioned, and include the following:

General Requirements

	Applicant	Staff
Total acreage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Stamp of registered surveyor, engineer, and/or architect	<input checked="" type="checkbox"/>	<input type="checkbox"/>
North arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Scale (no less than 1 inch equals 100 feet)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed name of the subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name of the owner and/or subdivider	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sealed and signed by a registered professional engineer licensed to practice in South Carolina	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vicinity map (at 1 inch equals 1,000 feet)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Existing Conditions

	Applicant	Staff
Topography by contours (at vertical intervals of not more than 5 feet)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Deed record names of adjoining property owners or subdivisions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If a resubdivision, a copy of the existing plat with the proposed resubdivisions superimposed thereon	N/A	<input type="checkbox"/>
Location of lakes, rivers, streams, swamps/wetlands, other bodies of water, and 100-year floodplains and floodway	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of existing adjoining property lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of existing buildings on the property to be subdivided	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of parking and access/driveways	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of rights-of-way and/or easements for streets, railroads, and utility	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of utility lines, identification of whether lines are in easements or rights-of-way, and identify the location of poles or towers, width of right-of-way, and name of each utility	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of streets, alleys, railroads, and utility lines upon and abutting subject property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of intersections within 200 feet of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Size and location of existing sewers, water mains, drains, culverts, or other underground facilities within the street or within the right-of-way of streets or roads adjoining or within the tract.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Grades, invert, and rim elevations of existing sewers shall be shown.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If relocation of existing sewers is proposed, a complete plan and profile of existing conditions, as well as a plan and profile of proposed conditions, must be shown	- N/A	<input type="checkbox"/>
Acreage of each drainage area affecting the proposed subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of city limit lines and county lines, if applicable	N/A	<input type="checkbox"/>



Major Subdivision – Preliminary Plat Application and Checklist

Existing Conditions

Tax map reference number(s)
Existing zoning

Applicant	Staff
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

Proposed Conditions

Layout of streets, roads, sidewalks, and alleys, with widths
 Construction plans for streets showing natural and finished grades and cross sections. Where a proposed street is an extension of an existing street, the profile shall be extended to include 300 feet of the existing roadways; the cross section of the existing street also shall be shown
 Layout of all lots, scaled dimensions on lots, lot and block numbers, utility easements with width and use, and street names as approved on the sketch plan
 Construction plan and profile for sanitary sewers (if applicable), with grade, pipe size, and material, location of manholes, and points of discharge
 Construction plans for the storm drainage system, with grade, pipe size and material, and location of outlets. Storm drains shall be designed in accordance with criteria outlined in the city storm drainage ordinance. Storm drainage plans shall show sufficient off-site information and include the method and computations where indicated, and a statement by a registered engineer or architect that storm drainage designs meet city ordinances must be provided
 Construction plans for the water supply system, with hydraulic calculation, pipe sizes, material and location of hydrants and valves;
 Total number of lots, total acreage, acreage per phase, and total length of new streets
 Proposed major contour changes in areas where substantial cut or fill is to be done
 Topography by contours (at vertical intervals of not more than 5 feet) of existing conditions
 Proposed setbacks (front, side, rear, secondary front)
 Location of mailbox kiosks (if applicable)

Applicant	Staff
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
N/A	<input type="checkbox"/>

Landscape Plan Requirements

Proposed location for street trees
 Proposed location of trees used to meet Site Tree Density and Tree Canopy Cover Retention Standards
 Location of all Grand trees
 Open Space Set-Aside (excluding stormwater management areas unless designed as site amenities)

Applicant	Staff
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

7. Signature

Signature of Applicant	
Print Name	Date
Travis Basnett, PE	7/7/25



Letter of Agency

Application Supplement

TO: Planning and Development Services, City of Columbia

I, the undersigned property owner, do hereby attest that I am the person that holds, or I am authorized on behalf of the party that holds, fee simple interest in the following parcel(s):

Common Street Address Senate Street, Blossom Street, Huger Street, Pendleton Street
Tax Map Reference Numbers R08910-01-01, R08911-01-14, R08910-01-02, R08911-01-08, R08911-01-13

Further, I hereby authorize the persons and/or entities listed as AUTHORIZED AGENT(S) below to act on my behalf for the purpose of submitting documents, amending documents, meeting with staff, attending public meetings and hearings, and as otherwise may be necessary and proper to fulfill the required steps to request the following:

- ~~CT 1. Variance, Special Exception, and/or Administrative Appeal (Board of Zoning Appeals)~~
- ~~CT 2. Zoning Map Amendment (Planning Commission and City Council, if applicable)~~
- ~~CT 3. Site Plan Review (Planning Commission or D/DRG)~~
- ~~CT 4. Design Review (D/DRG)~~
- ~~CT 5. Minor Subdivision (Staff)~~
- 6. Major Subdivision (Planning Commission)
- ~~CT 7. Encroachment (Staff and City Council, if applicable)~~
- ~~CT 8. Street Naming/Renaming (Planning Commission)~~

*****Please strike-through and initial any of the above-listed steps that do not fall under the scope of this Letter of Agency***

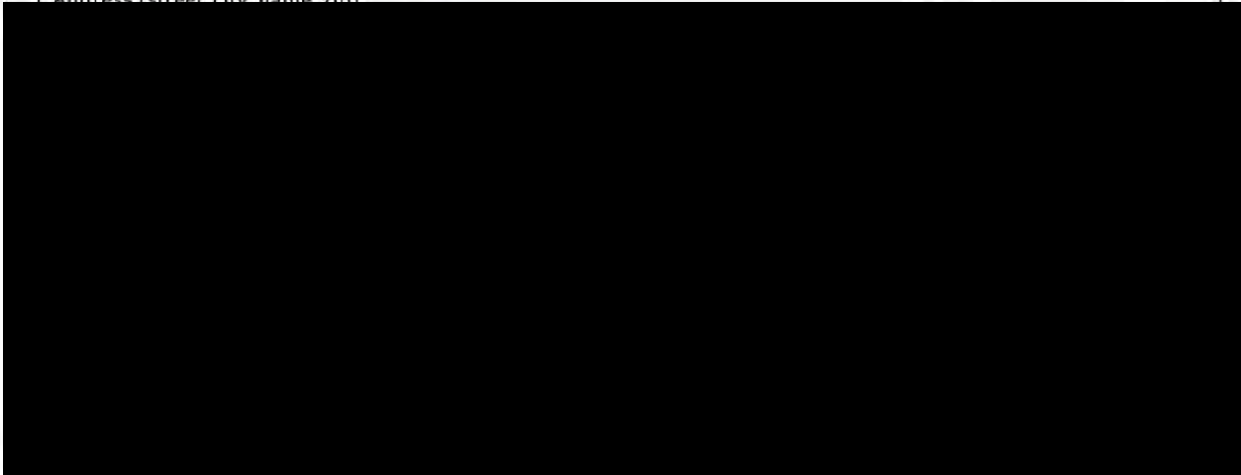
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Letter of Agency Application Supplement

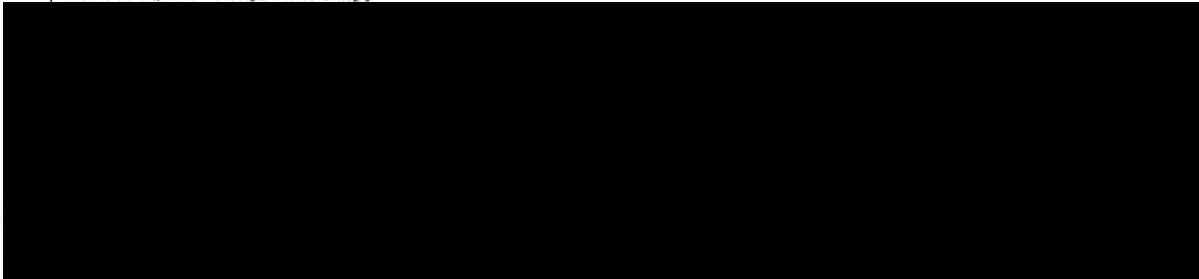
Property Owner

Signature 	Date 6/12/25
Print Name of Property Owner Guignard Associates LLC	
Address (street, city, name, zip)	



Authorized Agent

Signature 	Date 2/2/25
Print Name Travis Basnett, PE	
Address (street, city, name, zip)	





Letter of Agency

Application Supplement

TO: Planning and Development Services, City of Columbia

I, the undersigned property owner, do hereby attest that I am the person that holds, or I am authorized on behalf of the party that holds, fee simple interest in the following parcel(s):

Common Street Address 801 and 809 Huger St
Tax Map Reference Numbers R08911-01-11 & 12

Further, I hereby authorize the persons and/or entities listed as AUTHORIZED AGENT(S) below to act on my behalf for the purpose of submitting documents, amending documents, meeting with staff, attending public meetings and hearings, and as otherwise may be necessary and proper to fulfill the required steps to request the following:

- JD* 1. ~~Variance, Special Exception, and/or Administrative Appeal (Board of Zoning Appeals)~~
- JD* 2. ~~Zoning Map Amendment (Planning Commission and City Council, if applicable)~~
- JD* 3. ~~Site Plan Review (Planning Commission or D/DRC)~~
- JD* 4. ~~Design Review (D/DRC)~~
- JD* 5. ~~Minor Subdivision (Staff)~~
- 6. Major Subdivision (Planning Commission)
- JD* 7. ~~Encroachment (Staff and City Council, if applicable)~~
- JD* 8. ~~Street Naming/Renaming (Planning Commission)~~

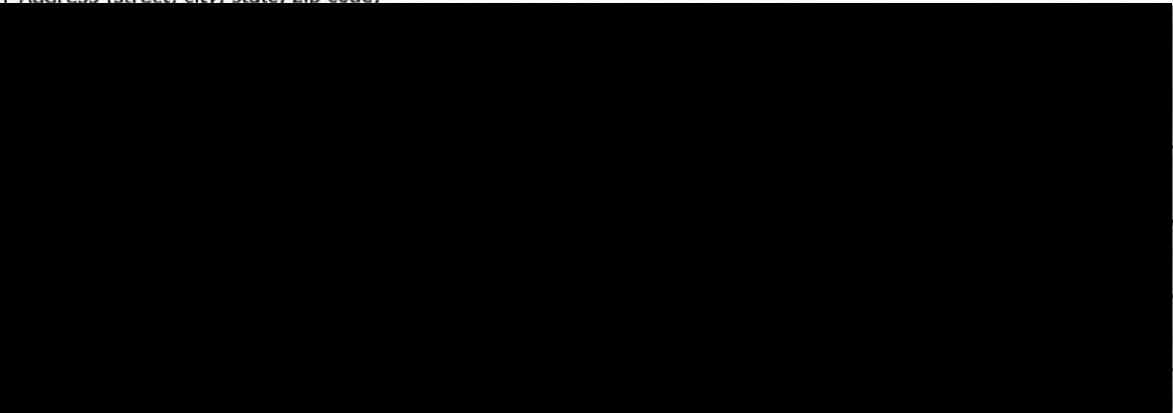
****Please strike-through and initial any of the above-listed steps that do not fall under the scope of this Letter of Agency.**

[signatures on following page]


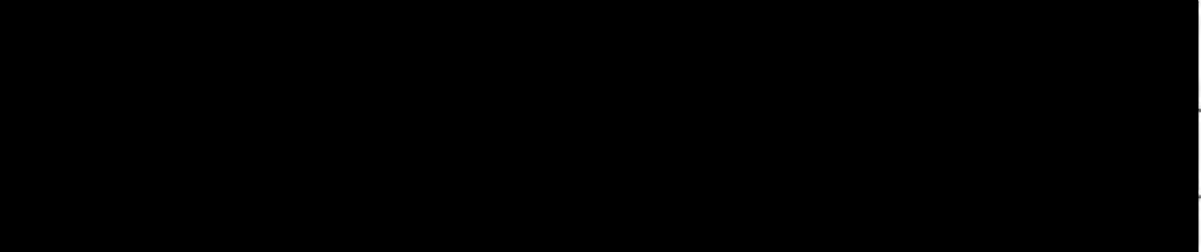


Letter of Agency
Application Supplement

Property Owner

Signature	Date
Print Name of Property Owner SC State Credit Union c/o Jim Kinard, President & CEO	
Address (street, city, state, zip code)	
	

Authorized Agent

Signature 	Date 6/16/25
Print Name Travis Basnett, PE, Principal	
Address (street, city, state, zip code)	
	



Letter of Agency Application Supplement

TO: Planning and Development Services, City of Columbia

I, the undersigned property owner, do hereby attest that I am the person that holds, or I am authorized on behalf of the party that holds, fee simple interest in the following parcel(s):

Common Street Address 917 Huger St
Tax Map Reference Numbers R08911-01-09

Further, I hereby authorize the persons and/or entities listed as AUTHORIZED AGENT(S) below to act on my behalf for the purpose of submitting documents, amending documents, meeting with staff, attending public meetings and hearings, and as otherwise may be necessary and proper to fulfill the required steps to request the following:

- ~~1. Variance, Special Exception, and/or Administrative Appeal (Board of Zoning Appeals) X CK~~
- ~~2. Zoning Map Amendment (Planning Commission and City Council, if applicable) X CK~~
- ~~3. Site Plan Review (Planning Commission or D/DRC) X CK~~
- ~~4. Design Review (D/DRC) X CK~~
- ~~5. Minor Subdivision (Staff) X CK~~
6. Major Subdivision (Planning Commission)
- ~~7. Encroachment (Staff and City Council, if applicable) X CK~~
- ~~8. Street Naming/Renaming (Planning Commission) X CK~~

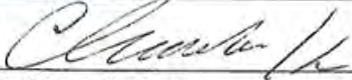
****Please strike-through and initial any of the above-listed steps that do not fall under the scope of this Letter of Agency.**

[signatures on following page]




Letter of Agency
Application Supplement

Property Owner

Signature 	Date 6/16/25
Print Name of Property Owner MBK Receivables LLC; c/o Charles Khan ^{Khan} , Manager - Far LLC	
Address (street, city, state, zip code)	




Authorized Agent

Signature 	Date 6/18/25
Print Name Travis Basnett, PE, Principal	
Address (street, city, state, zip code)	





TO: Johnathan Chambers, Land Development Administrator
FROM: Clint E. Shealy, PE, Assistant City Manager 
RE: Williams Street Extension Project / Planning Commission Application
DATE: June 27, 2025

The City of Columbia entered into an agreement with Guignard Associates LLC in April 2023 for the design and construction of the Williams Street Extension Project. Since that time, the parties have been working in collaboration with the project design firm Hussey Gay Bell to complete the project design with the intent of moving forward with construction activities upon completion of the construction plans.

Prior to the April 2023 agreement, the City and Guignard Associates LLC worked together, along with numerous other stakeholders, in effort to secure grant funds for the Williams Street Extension project. Fortunately, the combination of funds provided by the State of SC and Richland Penny has enabled the project design to move forward and will also fully fund construction of the project.

The Williams Street Extension Project will provide infrastructure required for ingress/egress into the site for private development as well as access to the future waterfront park area. The project will develop new roadways, enhance existing roadways, and offer alternatives for motorists, pedestrians, and cyclists along a major corridor of Columbia. It will reduce connectivity barriers and provide economic development opportunities. These improvements will be the catalyst for growth within an otherwise undeveloped span of waterfront property and a major step toward completing existing long-range plans of a waterfront park. All public and private development will adhere to applicable regulatory guidelines.

The roadway project includes sidewalks, a planting strip and a protected cycle track along both sides of Williams Street. The roadway is designed in a manner that facilitates access without being conducive to high traffic flow. This is accomplished through measures that include a traffic circle, a four way stop sign and a three way stop sign. In addition, the City intends to establish a speed limit on this new roadway of 20 MPH.

The Williams Street Extension Project has been included in plans that date back to 1786, as well as recent plans and studies. There is significant public support for this project combined with vast interest in exploring opportunities for a public park within this same area. The project team is aware of and intends to adhere to all regulatory requirements for site improvements for the Williams Street Extension Project as well as any future park project.

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MAP NOTE:

- ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY: HGBD LAND SURVEYORS, LLC.
- TRANSFER OF SITE BENCHMARK(S) IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL ONLY BE COMPLETED BY A SURVEYOR LICENSED/REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING BENCHMARKS PRIOR TO ANY CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. FIELD VERIFICATION CAN BE ACCOMPLISHED BY CHECKING A MINIMUM OF TWO FIXED OBJECTS DISPLAYED ON THE SURVEY (I.E. MANHOLE RIM, STORM GRATE, PIPE INVERTS, ETC.).
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES. IF THERE ARE ANY MAJOR DISCREPANCIES THAT WILL AFFECT THE PROJECT DESIGN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

GENERAL NOTES:

- WITHIN ALL NOTES, THE TERM "CONTRACTOR" SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR OR VENDOR PERFORMING CONSTRUCTION ON THE SITE.
- A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES WHILE THE CONTRACTOR IS PERFORMING WORK.
- SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- BOUNDARIES AND TOPOGRAPHY WERE PROVIDED BY HGB LAND SURVEYORS, LLC AND HAVE NOT BEEN FIELD VERIFIED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTING FIELD CONDITIONS AND REPORTING ANY DISCREPANCIES OR CONFLICTS TO THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE STATE'S LOCATION SERVICE AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL RULES AND REGULATIONS.
- ALL RIGHT-OF-WAY CONSTRUCTION SHALL MEET SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION).
- THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS CONCERNING PROJECT SAFETY. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
- THE CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT.
- ANY CONSTRUCTION TRAILERS USED ON-SITE SHALL BE PERMITTED THROUGH THE LOCAL GOVERNING AGENCY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL PERFORM ALL WORK DURING DAYLIGHT HOURS.
- THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
- IN THE EVENT OF A CONFLICT WITH WATER, SEWER, DRAINAGE OR OTHER UTILITY LINES, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO MAKING FIELD ADJUSTMENTS.

CONSTRUCTION NOTES:

- ALL MATERIALS, METHODS, AND DETAILS OF CONSTRUCTION SHALL CONFORM TO THE PROJECT SPECIFICATIONS AND DRAWINGS.
- EXISTING UTILITIES THAT ARE SHOWN ON THE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY. THE ACCURACY AND COMPLETENESS OF SUCH INFORMATION IS NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES IN ADVANCE OF ALL TRENCHING AND EXCAVATION TO AVOID DAMAGING EXISTING UTILITIES OR CAUSING UNNECESSARY DELAYS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL UTILITIES WITH THE APPROPRIATE UTILITY COMPANY AND SUBCONTRACTORS TO AVOID CONFLICTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR SCHEDULING THE INSTALLATION OF ALL UTILITIES IN A TIMELY, ORGANIZED, AND SYSTEMATIC MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING INFRASTRUCTURE WITHIN THE PROJECT AREA OR ADJOINING PROPERTIES (I.E., PAVEMENT, CURB, SIDEWALK, UTILITIES, LANDSCAPED AREAS, ETC.). THE CONTRACTOR SHALL REPAIR/REPLACE ALL DAMAGED ITEMS IMMEDIATELY, IF NECESSARY, OR PRIOR TO THE END OF THE JOB. THE REPAIR/REPLACEMENT SHALL BE AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ANY NECESSARY TRAFFIC CONTROLS THROUGHOUT THE DURATION OF THE PROJECT, IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) AND THE ENCROACHMENT PERMIT ISSUED BY THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR IS RESPONSIBLE FOR STABILIZING AND RETURNING ALL SCDOT MAINTAINED ROADWAY DITCHES TO PRE-CONSTRUCTION CONDITIONS IN A TIMELY MANNER.
- THE CONTRACTOR SHALL CLEAN AND MAINTAIN ALL ROADWAYS AS NECESSARY TO ENSURE THAT NO CONSTRUCTION DEBRIS IS PRESENT FOR EXTENDED PERIODS OF TIME.
- THE CONTRACTOR SHALL ENSURE THAT ALL-WEATHER ACCESS TO LOCAL RESIDENCES AND BUSINESSES IS MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL TRENCHING, EXCAVATION, AND COMPACTION OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 31 20 01 - TRENCHING, BACKFILLING, AND COMPACTING FOR UTILITIES.
- UNLESS OTHERWISE SPECIFIED, ALL BACKFILL MATERIAL SHALL BE CLASS III, AS DESCRIBED IN SECTION 31 20 01 - TRENCHING, BACKFILLING, AND COMPACTING FOR UTILITIES.
- THE CONTRACTOR SHALL PERFORM IN-PLACE MOISTURE-DENSITY TESTS FOR ALL COMPACTED MATERIAL USING A RECOGNIZED TESTING LABORATORY APPROVED BY THE ENGINEER.
- TRENCH EXCAVATION SHALL NOT EXCEED BACKFILL BY MORE THAN 100 FEET. NO TRENCH SHALL BE LEFT OPEN AFTER NORMAL BUSINESS HOURS.
- DURING WORKING HOURS, ALL OPEN EXCAVATIONS SHALL BE ENCLOSED WITH ORANGE SAFETY BARRICADE FENCE AND DRUMS. NO OPEN EXCAVATIONS SHALL REMAIN OVERNIGHT.
- ALL VALVE VAULTS SHALL BE FLUSH WITH THE NATURAL GROUND ELEVATION OR ROADWAY.
- THE CONTRACTOR SHALL REMOVE ALL STRIPPINGS, DEBRIS, AND EXCESS EXCAVATED MATERIALS FROM THE PROJECT AREA AND DISPOSE OF THEM IN A LEGAL MANNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY DEWATERING TO PERFORM AND MAINTAIN EXCAVATIONS AND GRADES. DEWATERING OPERATIONS SHALL NOT DISCHARGE DIRECTLY INTO MARSH OR WETLAND AREAS. WATER PUMPED FROM EXCAVATION AND OTHER WORK AREAS MUST BE HELD IN SETTLING BASINS OR FILTERED PRIOR TO DISCHARGE INTO SURFACE WATERS OR STORM DRAINAGE SYSTEMS. WATER MUST BE DISCHARGED THROUGH A PIPE, WELL-GRASSED OR LINED CHANNEL, OR EQUIVALENT MEANS SUCH THAT THE DISCHARGE DOES NOT CAUSE EROSION OR SEDIMENTATION.
- CONTRACTOR TO INSTALL THE TEMPORARY FLUSHING AT ALL DEAD END LINES BETWEEN PHASES, AS REQUIRED, INCLUDING ON SHEET C-022.

SCDHEC STANDARD NOTES

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH SC REG. 72-307 OF THE STORMWATER MANAGEMENT AND SEDIMENT REDUCTION ACT AND SCR10000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASINS, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS.
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE.
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF ATLEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS OR NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

SEQUENCE OF CONSTRUCTION

- RECEIVE NPDES COVERAGE FROM SCDHEC
- PRE-CONSTRUCTION MEETING (ON-SITE IF MORE THAN 10 ACRES AND NON-LINEAR)
- NOTIFY DHEC EOC REGIONAL OFFICE OR OCRM OFFICE 48 HOURS PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES
- WATER QUALITY BUFFERS SHALL BE CLEARLY MARKED IN THE FIELD WITH AN ORANGE WARNING BARRIER AND INSTALLED BEFORE THE PRE-CONSTRUCTION CONFERENCE. ALL MARKINGS MUST BE MAINTAINED UNTIL COMPLETION OF THE CONSTRUCTION ACTIVITIES.

PHASE 1 - INITIAL LAND DISTURBANCE

- INSTALLATION OF CONSTRUCTION ENTRANCE(S)
- CLEARING & GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS & SEDIMENT TRAPS.
- INSTALLATION OF METER CONTROLS & SEDIMENT BASIN.
- INSTALLATION OF POND AND INSTALLATION OF DIVERSIONS TO THOSE STRUCTURES (OUTLET STRUCTURES MUST BE COMPLETELY INSTALLED AS SHOWN ON THE DETAILS BEFORE PROCEEDING TO NEXT STEP; AREAS DRAINING TO THESE STRUCTURES CANNOT BE DISTURBED UNTIL THE STRUCTURES AND DIVERSIONS TO THE STRUCTURES ARE COMPLETELY INSTALLED)
- DO NOT MASS CLEAR WITHIN PHASE I.

PHASE 2 - CONSTRUCTION

- CLEARING & GRUBBING OF SITE OR DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED)
- ROUGH GRADING
- INSTALLATION OF STORM DRAIN SYSTEM & PLACEMENT OF INLET PROTECTION AS EACH INLET IS INSTALLED.

PHASE 3 - STABILIZATION

- FINE GRADING & PAVING. INLET PROTECTION ON INLETS TO BE CONVERTED AS NECESSARY.
- PERMANENT/FINAL STABILIZATION
- CLEAN-OUT OF DETENTION BASINS THAT WERE USED AS SEDIMENT CONTROL STRUCTURES AND RE-GRADING OF DETENTION POND BOTTOMS; IF NECESSARY, MODIFICATION OF SEDIMENT BASIN RISER TO CONVERT TO DETENTION BASIN OUTLET STRUCTURE
- REMOVAL OF TEMPORARY SEDIMENT & EROSION CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS 80% STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER/OPERATOR HAVE THE SWPPP PREPARER OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES.)
- PERFORM AS-BUILT SURVEYS OF ALL DETENTION STRUCTURES AND SUBMIT TO DHEC OR MS4 FOR ACCEPTANCE AS NECESSARY.
- SUBMIT NOTICE OF TERMINATION (NOT) TO SCDHEC AS APPROPRIATE

WATER NOTES:

- THE ENGINEER HAS MADE ALL POSSIBLE ATTEMPTS TO LOCATE EXISTING UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION AND TO NOTE ANY CONFLICTS. ANY DAMAGE TO UTILITIES INCURRED DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- MINIMUM SEPARATION DISTANCES BETWEEN WATER AND SEWER LINES:
 - A. WATER OVER SANITARY SEWER - 18" VERTICAL OR 10' HORIZONTAL
 - B. STORM - 12"
- D.I.P. WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS MAY BE SUBSTITUTED WHERE SEPARATION DISTANCES BETWEEN THE SANITARY SEWER AND STORM SEWERS OR WATER LINES CANNOT BE MAINTAINED. PIPE MUST BE LAID SUCH THAT FULL SECTIONS OF PIPE ARE CENTERED ON THE CROSSING AND EXTEND A DISTANCE OF 10' ON EACH SIDE OF THE POINT OF CROSSING.
- EROSION AND SEDIMENT CONTROL PROCEDURES MUST BE MAINTAINED DURING THE ENTIRE CONSTRUCTION PERIOD. DEBRIS AND LOOSE SOIL ON ADJACENT STREETS MUST BE CONTROLLED THROUGH DAILY CLEANING. DISTURBED EARTH AREAS MUST BE STABILIZED WITHIN 30 DAYS FROM COMPLETION OF GRADING ACTIVITIES.
- PAVEMENT PATCHING AND RESURFACING MUST BE COMPLETED WITHIN 5 DAYS AFTER COMPLETION OF GRADING ACTIVITIES. SMALL PATCH AREAS CAN BE MAINTAINED WITH TEMPORARY PAVEMENT PATCHING OR CABC STONE UNTIL PERMANENT PATCHING IS COMPLETE.
- ALL WATER WILL MEET CITY OF COLUMBIA STANDARDS AND SPECIFICATIONS.
- CROSS LINE PIPES SHALL BE COMPACTED IN 12" LIFTS TO 95% STANDARD PROCTOR AND THE LAST 12" COMPACTED TO 100% STANDARD PROCTOR.
- WATER SERVICES - 3/4" POLYETHYLENE W/ METER BOX. LOCATIONS ARE APPROXIMATE. MAINTAIN 10' MINIMUM SEPARATION FROM WATER SERVICES.
- CONTRACTOR TO MARK AND LABEL ALL BENDS, VALVES, TEES, & PLUGS FOR RECORDATION PURPOSES.
- CONTRACTOR TO INSTALL THRUST BLOCKING OR MECHANICAL RESTRAINTS FOR ALL TEES, BENDS, HYDRANTS, & CHANGES IN DIRECTION.
- CONTRACTOR TO MAINTAIN A MIN. DISTANCE OF 3' BETWEEN WATER MAIN AND OTHER UTILITY STRUCTURES (CATCH BASINS, JUNCTION BOXES, MANHOLES)
- CONTRACTOR TO TRANSITION FROM DIP TO PVC FOR SERVICE LINES WHEN DEPTH IS LESS THAN 12'.

SEWER NOTES:

- THE ENGINEER HAS MADE ALL POSSIBLE ATTEMPTS TO LOCATE EXISTING UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION AND TO NOTE ANY CONFLICTS. ANY DAMAGE TO UTILITIES INCURRED DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- MINIMUM SEPARATION DISTANCES BETWEEN WATER AND SEWER LINES:
 - A. WATER OVER SANITARY SEWER - 18" VERTICAL OR 10' HORIZONTAL
 - B. STORM SEWER & SANITARY SEWER - 36" (FROM OUTSIDE OF PIPE) OR DIP REQUIRED
 - C. SANITARY SEWER OVER WATER - PROVIDE 20' OF DIP FOR BOTH WATER & SEWER. (20' CENTERED)
- D.I.P. WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS MAY BE SUBSTITUTED WHERE SEPARATION DISTANCES BETWEEN THE SANITARY SEWER AND STORM SEWERS OR WATER LINES CANNOT BE MAINTAINED. PIPE MUST BE LAID SUCH THAT FULL SECTIONS OF PIPE ARE CENTERED ON THE CROSSING AND EXTEND A DISTANCE OF 10' ON EACH SIDE OF THE POINT OF CROSSING.
- SEWER MAINS - ALL MAINS TO BE SDR-26 (UNLESS OTHERWISE SHOWN). ALL 8" SEWER MAINS SHALL HAVE A MINIMUM SLOPE OF 0.40%. (SLOPES LESS THAN 0.4% WILL NOT BE ACCEPTED).
- SEWER SERVICES - 6" PVC SDR-26 WITH ELDER VALVE AT PROPERTY LINE. (TO SLOPE AT MINIMUM 1% TOWARDS MAIN)
- SEWER EASEMENTS - GRAVITY SEWER (6' DEPTH=15', 6-8' DEPTH=20', >8' DEPTH=25')
- EROSION AND SEDIMENT CONTROL PROCEDURES MUST BE MAINTAINED DURING THE ENTIRE CONSTRUCTION PERIOD. DEBRIS AND LOOSE SOIL ON ADJACENT STREETS MUST BE CONTROLLED THROUGH DAILY CLEANING. DISTURBED EARTH AREAS MUST BE STABILIZED WITHIN 30 DAYS FROM COMPLETION OF GRADING ACTIVITIES.
- PAVEMENT PATCHING AND RESURFACING MUST BE COMPLETED WITHIN 5 DAYS AFTER COMPLETION OF GRADING ACTIVITIES. SMALL PATCH AREAS CAN BE MAINTAINED WITH TEMPORARY PAVEMENT PATCHING OR CABC STONE UNTIL PERMANENT PATCHING IS COMPLETE.
- ALL WATER WILL MEET CITY OF COLUMBIA STANDARDS AND SPECIFICATIONS.
- ALL SEWER WILL MEET CITY OF COLUMBIA UTILITIES STANDARDS AND SPECIFICATIONS.
- CROSS LINE PIPES SHALL BE COMPACTED IN 12" LIFTS TO 95% STANDARD PROCTOR AND THE LAST 12" COMPACTED TO 100% STANDARD PROCTOR.
- CONTRACTOR TO MARK AND LABEL ALL BENDS, VALVES, TEES, & PLUGS FOR RECORDATION PURPOSES.
- CONTRACTOR TO INSTALL THRUST BLOCKING OR MECHANICAL RESTRAINTS FOR ALL TEES, BENDS, HYDRANTS, & CHANGES IN DIRECTION.
- CONTRACTOR TO MAINTAIN A MIN. DISTANCE OF 3' BETWEEN WATER MAIN AND OTHER UTILITY STRUCTURES (CATCH BASINS, JUNCTION BOXES, MANHOLES)

GRADING NOTES:

- ALL LAND DISTURBING OPERATIONS SHALL BE IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL HORIZONTAL AND VERTICAL SURVEY CONTROLS (HORIZONTAL DATUM: NAD 83, VERTICAL DATUM: NAVD 88).
- CONTRACTOR SHALL REMOVE ALL STRIPPINGS, DEBRIS AND EXCESS EXCAVATED MATERIALS FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS AND GRADING INCLUDING FURNISHING OFF-SITE BORROW AS REQUIRED TO MEET PLAN GRADES.
- IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT (FROM OFF-SITE BORROW MATERIAL) OF ALL UNSUITABLE MATERIAL TO MEET COMPACTION REQUIREMENTS UNDER PAVED SURFACES. UNSUITABLE MATERIALS ARE THOSE CLASSIFIED AS MH, CH, OH, OL AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM, UNLESS APPROVED IN WRITING BY THE PROJECT GEOTECHNICAL ENGINEER. THE SITE ENGINEER AND GEOTECHNICAL ENGINEER, SHALL BE NOTIFIED IMMEDIATELY UPON ENCOUNTERING UNSUITABLE SUBGRADE MATERIAL.
- CONTRACTOR SHALL UNIFORMLY GRADE BEHIND CURBS, ROADS, ETC. TO MATCH EXISTING GRADES. LANDSCAPE ISLANDS SHALL BE GRADED TO DRAIN OVER CURBS.
- GRADE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE TO EXISTING OR NEW DRAINAGE FACILITIES.
- COMPACTION REQUIREMENTS (SEE GEOTECHNICAL REPORT).
- CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NECESSARY TO MEET REQUIRED EXCAVATIONS AND GRADES. DEWATERING OPERATIONS SHALL NOT DISCHARGE DIRECTLY INTO MARSH OR WETLAND AREAS. MUDDY WATER TO BE PUMPED FROM EXCAVATION AND WORK AREAS MUST BE HELD IN SETTLING BASINS OR FILTERED PRIOR TO ITS DISCHARGE INTO SURFACE WATERS OR STORM DRAINAGE SYSTEMS. WATER MUST BE DISCHARGED THROUGH A PIPE, WELL GRASSED OR LINED CHANNEL, OR OTHER EQUIVALENT MEANS SUCH THAT DISCHARGE DOES NOT CAUSE EROSION OR SEDIMENTATION.

FEMA CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAPS AND FOUND THAT THE PROPERTY DESCRIBED AND SHOWN HEREON IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAP NO. 45079C0067L, DATED DECEMBER 21, 2017.

PAVING & MARKING NOTES:

- ALL PAVEMENT SECTION MATERIALS & INSTALLATION SHALL MEET CITY OF COLUMBIA SPECIFICATIONS. PAVEMENT LOCATED WITHIN THE SCDOT RIGHT-OF-WAY TO MEET THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION).
- ALL SIDEWALKS, STRIPING, & SIGNAGE TO BE ADA & MUTCD COMPLIANT. ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY TO BE THERMOPLASTIC.

LAND DISTURBANCE:

15.8 ACRES

SEEDING SCHEDULES

TEMPORARY SEEDING													
SPECIES	lbs./ac	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
BROWNTOP MILLET (ALONE)	40												
BROWNTOP MILLET (MIX)	10												
RYE, GRAIN (ALONE)	56												
RYE, GRAIN (MIX)	10												
RYEGRASS (ALONE)	50												
RYEGRASS (MIX)	8												
WEeping LOVEGRASS (ALONE)	4												
WEeping LOVEGRASS (MIX)	2												

PERMANENT SEEDING													
SPECIES	lbs./ac	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
BAHIA GRASS (ALONE)	40												
BAHIA GRASS (MIX)	30												
BERMUDAGRASS (HULLED) (ALONE)	8-12												
BERMUDAGRASS (HULLED) (MIX)	4-6												
FESCUE, TALL (KY31) ALONE	40												
FESCUE, TALL (KY31) MIX	20												
SERICEA LESPEDEZZA (SACRIFICED) ALONE OR MIX	40												
LADINO CLOVER (MIX ONLY)	2												
WEeping LOVEGRASS (ALONE)	4												
WEeping LOVEGRASS (MIX)	2												
CROWN VETCH (MIX) TYPE M INOCULANT	8-10												

HUSSEY GAY BELL
Established 1958

Hussey, Gay, Bell & DeYoung, Inc.,
Consulting Engineers of SC
1010 Gervais Street, Suite 100
Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER:
SOUTH CAROLINA
No. 32125
Professional Seal of
Hussey, Gay, Bell & DeYoung, Inc.
Professional Seal of
Hussey, Gay, Bell & DeYoung, Inc.

CERTIFICATE OF AUTHORIZATION:
SOUTH CAROLINA
HUSSEY, GAY, BELL & DEYOUNG, INC.
CONSULTING ENGINEERS OF SC
No. 00194
Professional Seal of
Hussey, Gay, Bell & DeYoung, Inc.

811
CALL BEFORE YOU DIG
SAFE DIGGING PARTNER

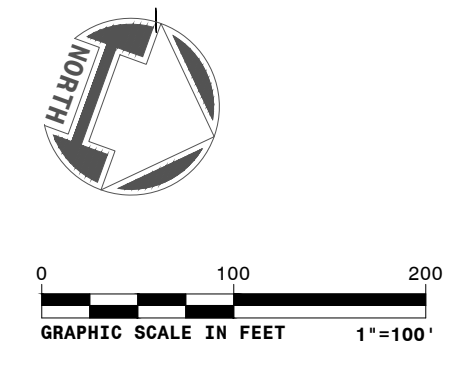
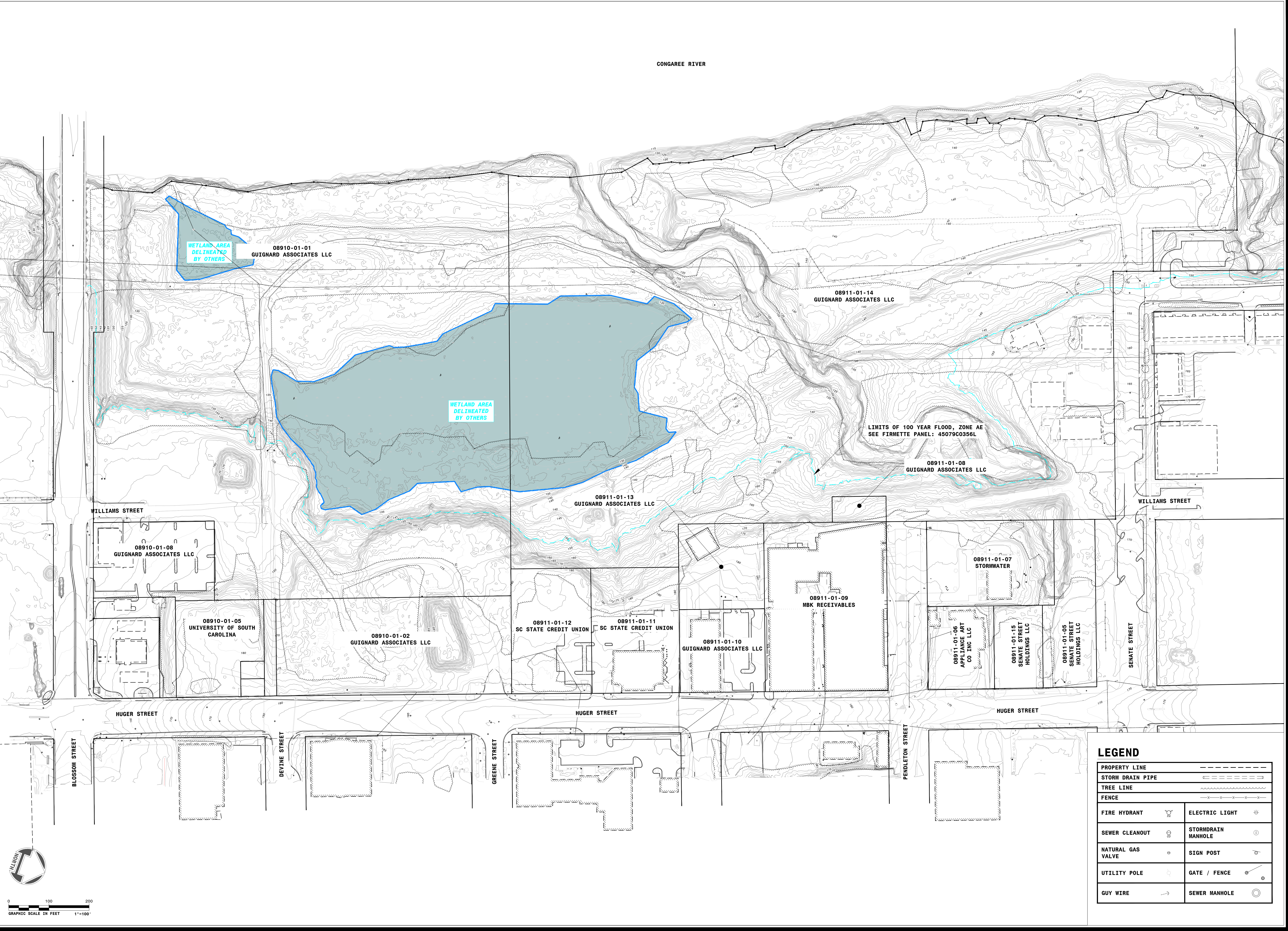
DESIGNED: DWJ DRAWN: DUF CHECKED: TB
DATE: 06/11/2025
JOB NUMBER: 324131023
SCALE: SEE GRAPHIC SCALE

C-1.1

**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**

GENERAL NOTES AND LEGEND

Z:\Shared\CDL\Drawings\PROJECTS\COMMERCIAL\THOMPSON WILLIAMS ST\PROJECT NUMBER WILLIAMS, CAD, Construction\Final Phase 1\PH 02.0 - EXISTING CONDITIONS.dwg, Plotted By: dfreeman, Plotted: Jun 11, 2025, 11:05am



LEGEND

PROPERTY LINE	---
STORM DRAIN PIPE	---
TREE LINE	---
FENCE	---
FIRE HYDRANT	⊕
ELECTRIC LIGHT	⊕
SEWER CLEANOUT	⊕
STORMDRAIN MANHOLE	⊕
NATURAL GAS VALVE	⊕
SIGN POST	⊕
UTILITY POLE	⊕
GATE / FENCE	⊕
GUY WIRE	⊕
SEWER MANHOLE	⊕

HUSSEY GAY BELL
Established 1958

Hussey, Gay, Bell & DeYoung, Inc.,
Consulting Engineers of SC
1010 Gervais Street, Suite 100
Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER:
SOUTH CAROLINA
No. 32125
P. Hussey



REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED: DWJ
DRAWN: DJF
CHECKED: TB

DATE: 06/11/2025

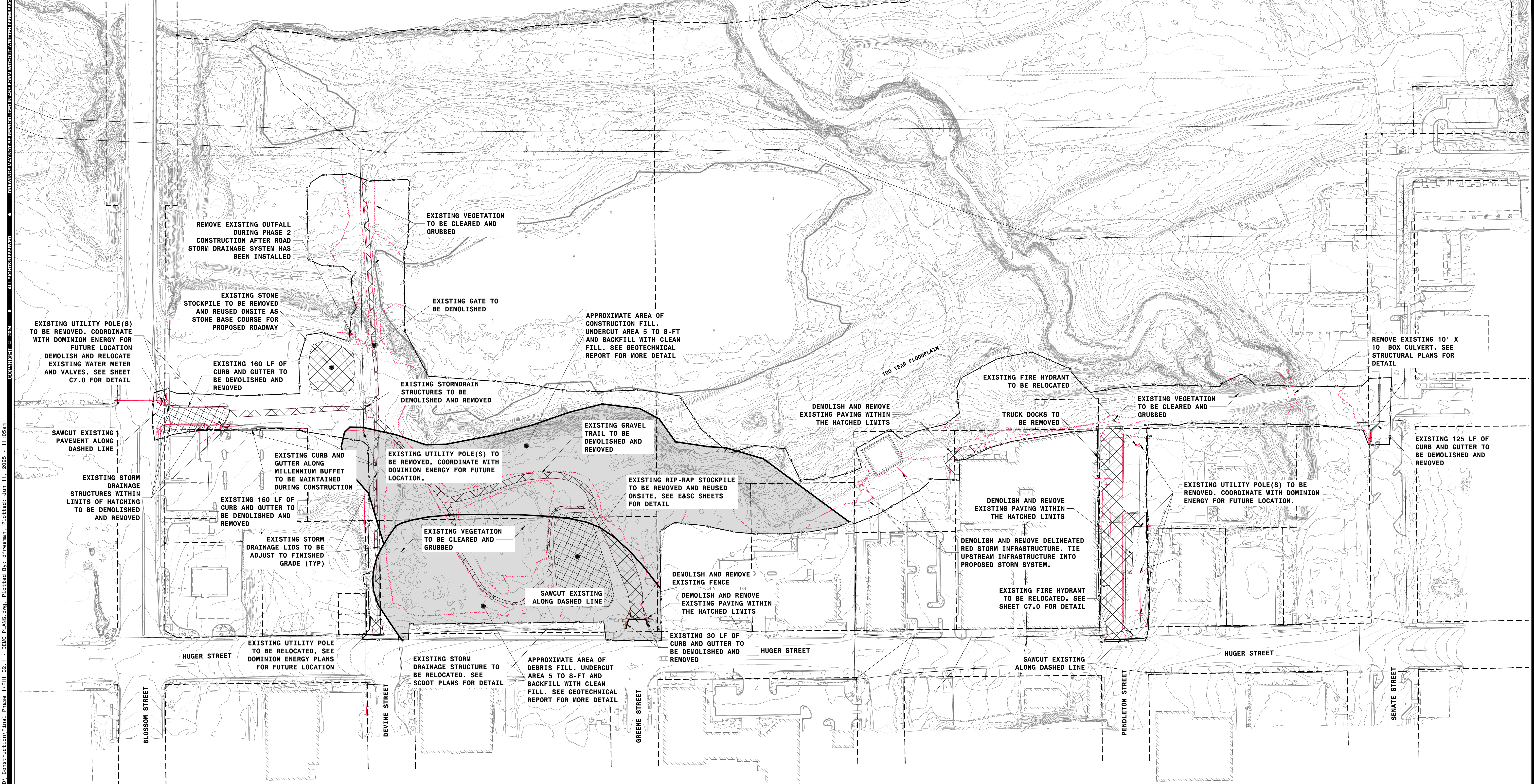
JOB NUMBER: 324131023

SCALE: SEE GRAPHIC SCALE

**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**

EXISTING CONDITIONS

DRAWING NUMBER:
C-2.0



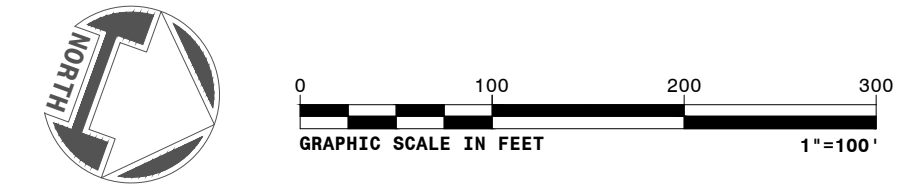
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DEMOLITION NOTES

1. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMITTING THEIR PROPOSAL TO BECOME FAMILIAR WITH ALL EXISTING FIELD CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
2. DEMOLITION CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION MEASURES TO SAFEGUARD THE PUBLIC DURING CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES TO SAFEGUARD AGAINST THE INTERRUPTION OF SERVICES TO THE PUBLIC.
4. WHILE AN ATTEMPT HAS BEEN MADE TO SHOW THE ITEMS TO BE REMOVED, IT IS THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO CONDUCT ON-SITE EXAMINATIONS AND FAMILIARIZE THEMSELVES WITH THE ACTUAL SITE CONDITIONS. ADDITIONAL ITEMS, NOT SHOWN TO BE REMOVED, SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
5. CARE SHOULD BE EXERCISED IN THE REMOVAL OF WORK TO PREVENT THE RELEASE OF TOXIC SUBSTANCES. SHOULD TOXIC SUBSTANCES, SUCH AS ASBESTOS BE ENCOUNTERED, THE OWNER AND ENGINEER SHALL BE NOTIFIED. UPON AUTHORIZATION, THE DISPOSAL OF SAME SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS. DISPOSAL SHALL BE DONE ONLY BY CONTRACTORS LICENSED FOR THIS WORK.
6. DURING DEMOLITION AND CONSTRUCTION OPERATIONS, PROVIDE ALL NECESSARY PROTECTION AND SAFE PASSAGE FOR THE PUBLIC. SUCH AS BUT NOT LIMITED TO: BARRICADES, TEMPORARY PARTITIONS, DUST BARRIERS, SIGNS, ETC. ERECT AND MAINTAIN THESE BARRIERS TO THE SATISFACTION OF THE OWNER AND ARCHITECT AND ALL APPLICABLE RULES AND REGULATIONS.
7. COORDINATE CONSTRUCTION TIMING, MOVEMENT OF CONSTRUCTION MATERIALS AND STORAGE OF REFUSE CONTAINERS WITH THE OWNER.

UNDERCUTTING NOTES

1. AREAS OF UNDERCUTTING (AS SHOWN ON THIS SHEET) SHALL FOLLOW GEOTECHNICAL REPORT RECOMMENDATIONS.
2. CLEAN FILL - PREDOMINANTLY CLAYEY SANDS, SILTY SANDS AND LEAN CLAYS CAN BE REUSED AS STRUCTURAL FILL.
3. CONSTRUCTION FILL - PREDOMINANTLY CONCRETE, BRICK, MASONRY, WITH VARYING AMOUNTS OF SOIL CAN BE CRUSHED/PROCESSED ONSITE AND REUSED AS FILL (WITH THE EXCEPTION OF ANY METAL PIPES, STEEL DRUMS, STEEL REBAR, TIMBERS, ETC).
4. DEBRIS FILL - CONTAINS VARIETY OF HOUSEHOLD WASTE, TIRES, WOOD, MISCELLANEOUS DEBRIS. UNSUITABLE FOR REUSE AS STRUCTURAL FILL AND SHOULD BE HAULED OFFSITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
5. PROJECT INCLUDES PARTIAL REMOVAL OF CONSTRUCTION FILL AND DEBRIS FILL (+/- 5 TO 8 FT) AND REPLACEMENT WITH NEW COMPACTED FILL TO ALLOW FOR STABLE PAVEMENT SUPPORT AND UTILITY CONSTRUCTION.



HUSSEY GAY BELL
Established 1958

Hussey, Gay, Bell & DeYoung, Inc.,
Consulting Engineers of SC
1010 Gervais Street, Suite 100
Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER:
SOUTH CAROLINA
No. 32125
PAUL B. BELL

CERTIFICATE OF AUTHORIZATION:
SOUTH CAROLINA
HUSSEY, GAY, BELL & DEYOUNG, INC.
CONSULTING ENGINEERS OF SC
No. 000194

CALL IT BEFORE YOU DIG
811
SAFE DIGGING PARTNER

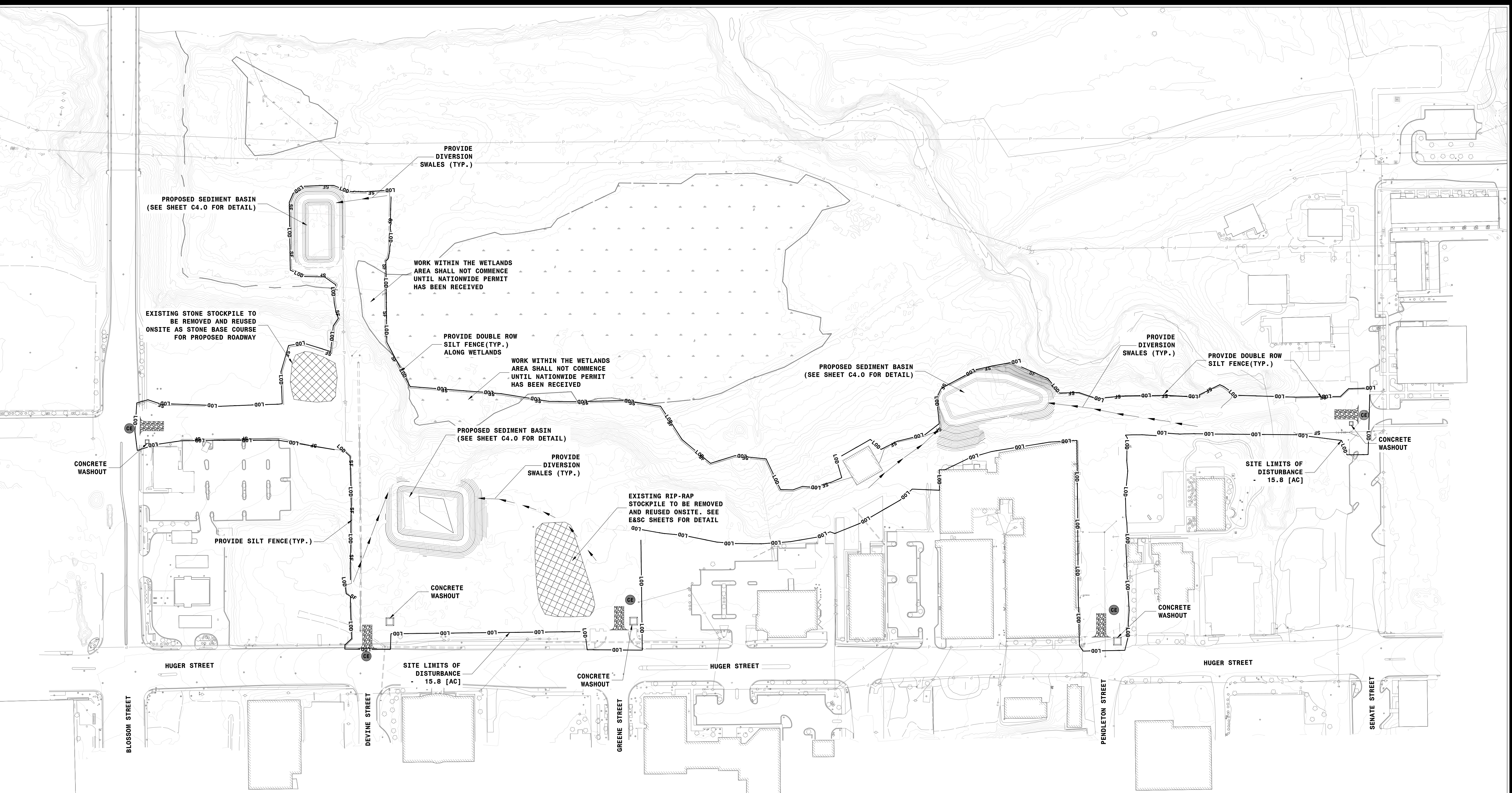
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DESIGNED:	DRAWN:	CHECKED:
DWJ	DJF	TB
DATE:	06/11/2025	
JOB NUMBER:	324131023	
SCALE:	SEE GRAPHIC SCALE	

WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA
 DEMOLITION PLANS

DRAWING NUMBER:
C-2.1

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SEQUENCE OF CONSTRUCTION

1. RECEIVE NPDES COVERAGE FROM CITY OF COLUMBIA AND SCDES.
2. PRE-CONSTRUCTION MEETING (ON-SITE IF MORE THAN 10 ACRES AND NON-LINEAR)
3. NOTIFY CITY OF COLUMBIA AND SCDES EOC REGIONAL OFFICE 48 HOURS PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES.
4. WATER QUALITY BUFFERS SHALL BE CLEARLY MARKED IN THE FIELD WITH AN ORANGE WARNING BARRIER AND INSTALLED BEFORE THE PRE-CONSTRUCTION CONFERENCE. ALL MARKINGS MUST BE MAINTAINED UNTIL COMPLETION OF THE CONSTRUCTION ACTIVITIES.

PHASE 1 - INITIAL LAND DISTURBANCE

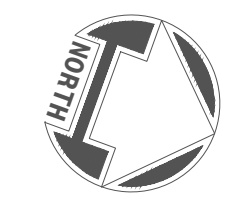
5. INSTALLATION OF CONSTRUCTION ENTRANCE(S).
6. CLEARING & GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS & SEDIMENT TRAPS.
7. INSTALLATION OF PERIMETER CONTROLS & SEDIMENT BASIN(S).
8. INSTALLATION OF POND AND INSTALLATION OF DIVERSIONS TO THOSE STRUCTURES (OUTLET STRUCTURES MUST BE COMPLETELY INSTALLED AS SHOWN ON THE DETAILS BEFORE PROCEEDING TO NEXT STEP; AREAS DRAINING TO THESE STRUCTURES CANNOT BE DISTURBED UNTIL THE STRUCTURES AND DIVERSIONS TO THE STRUCTURES ARE COMPLETELY INSTALLED).
9. DO NOT MASS CLEAR WITHIN PHASE 1.

NOTE

1. LIMITS OF DISTURBANCE AND SILT FENCE HAVE BEEN OFFSET FOR VISIBILITY PURPOSES. PLEASE USE CAD FILE FOR EXACT LOCATION AROUND EXISTING INFRASTRUCTURE. IF FIELD CONDITIONS VARY, NOTIFY ENGINEER IMMEDIATELY.

LEGEND

SILT FENCE		SF
STORM DRAIN PIPE		SD
LIMITS OF DISTURBANCE		LD
SURFACE ROUGHENING	LG	SEDIMENT TUBE
TEMPORARY SEEDING	TS	CHECK DAM
PERMANENT SEEDING	PS	RIP RAP APRON
CONSTRUCTION ENTRANCE	CE	TYPE A INLET PROTECTION
TURF REINFORCEMENT	TRM	TYPE F INLET PROTECTION
TEMPORARY DIVERSION	TD	ROCK CHECK DAM



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1010 Gervais Street, Suite 100
Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER:
SOUTH CAROLINA
No. 32125
K. A. BASS

CERTIFICATE OF AUTHORIZATION:
SOUTH CAROLINA
HUSSEY, GAY, BELL & DEYOUNG, INC.
CONSULTING ENGINEERS OF SC
No. 00194



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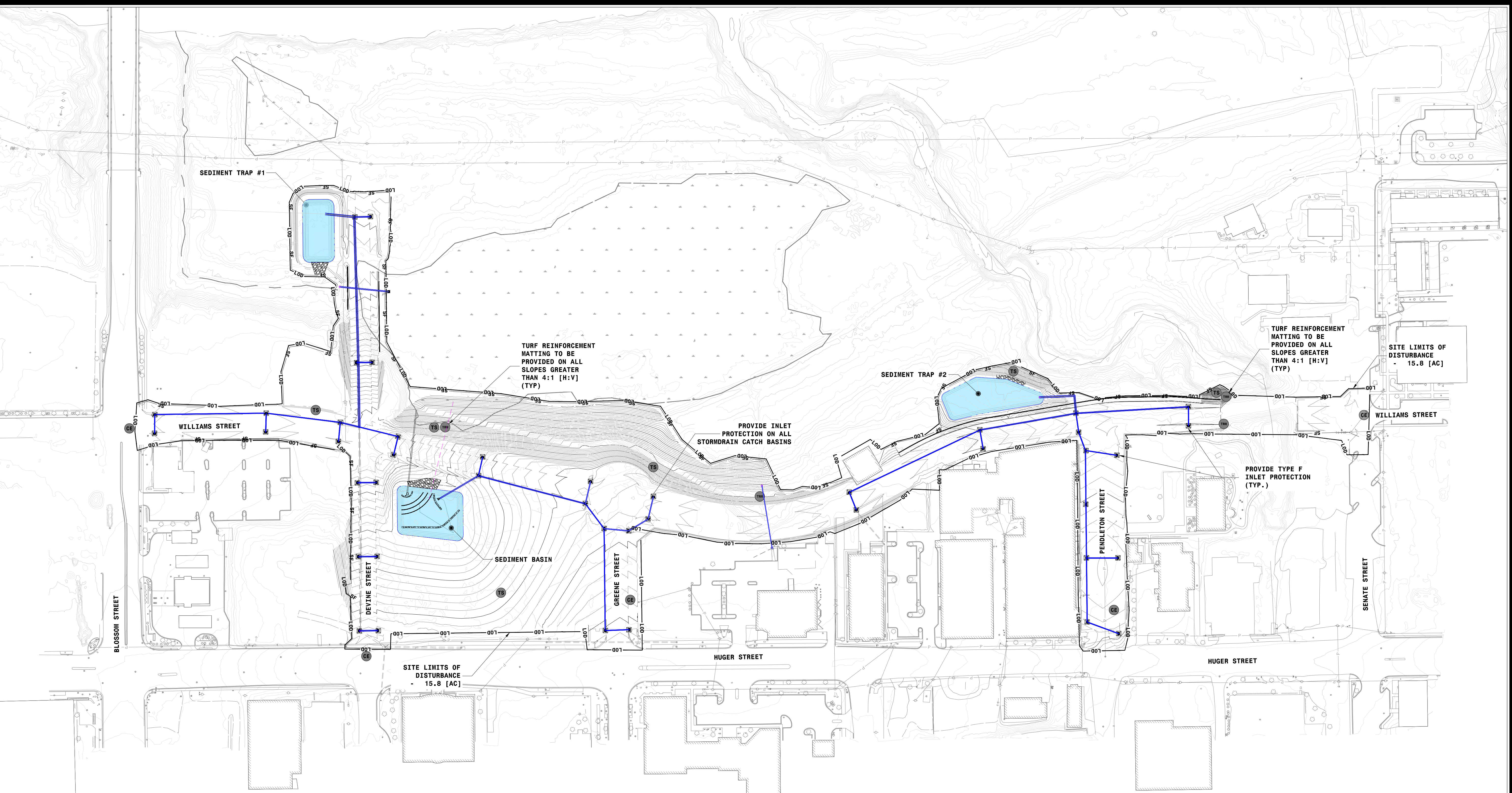
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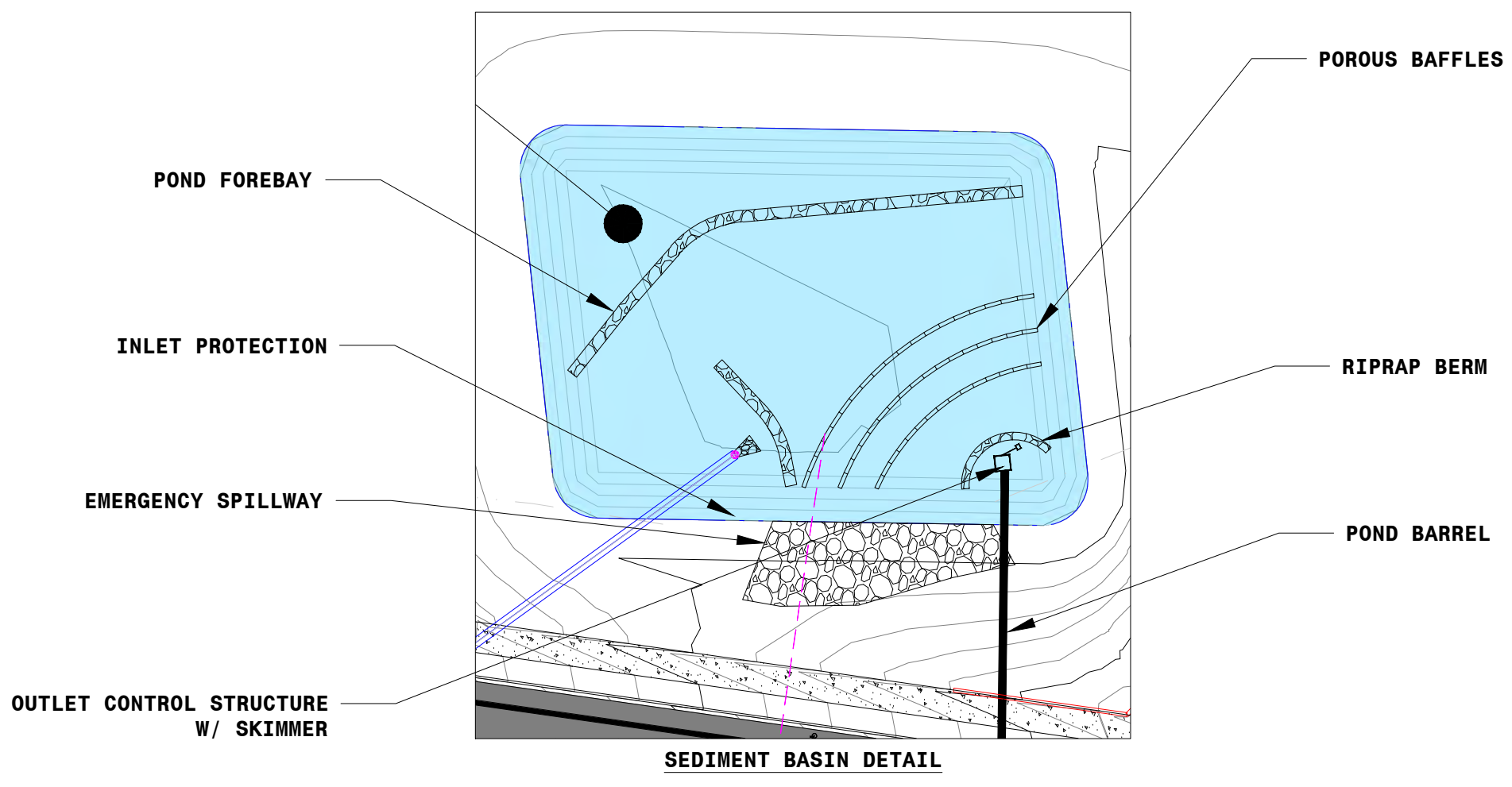
**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**
 PHASE 1 - INITIAL LAND DISTURBANCE

DRAWING NUMBER:
C-3.1

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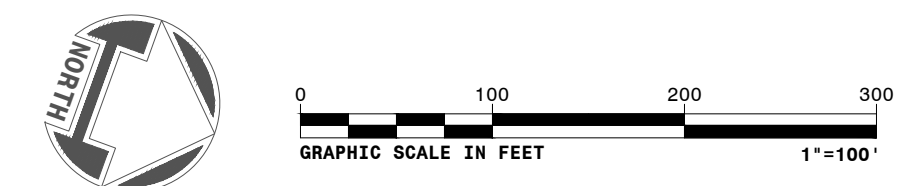


- PHASE 2 - CONSTRUCTION**
1. CLEARING & GRUBBING OF SITE AND DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED).
 2. ROUGH GRADING AND UNDERCUTTING OPERATIONS.
 3. INSTALLATION OF STORM DRAIN SYSTEM & PLACEMENT OF INLET PROTECTION AS EACH INLET IS INSTALLED.
 4. INSTALLATION OF WATER AND SEWER SYSTEMS.



LEGEND

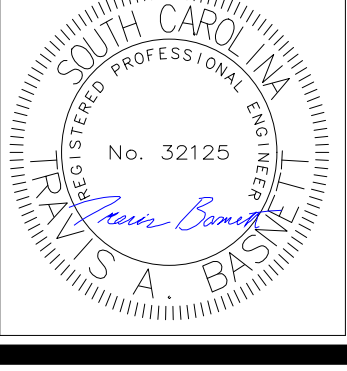
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STORM DRAIN PIPE		
LIMITS OF DISTURBANCE		
SURFACE ROUGHENING	(LG)	SEDIMENT TUBE
TEMPORARY SEEDING	(TS)	CHECK DAM
PERMANENT SEEDING	(PS)	RIP RAP APRON
CONSTRUCTION ENTRANCE	(CE)	TYPE A INLET PROTECTION
TURF REINFORCEMENT	(TRM)	TYPE F INLET PROTECTION
TEMPORARY DIVERSION		ROCK CHECK DAM



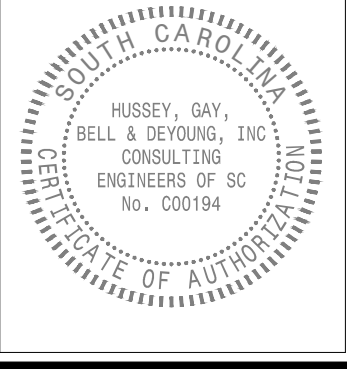
HUSSEY GAY BELL
Established 1958

Hussey, Gay, Bell & DeYoung, Inc.,
Consulting Engineers of SC
1010 Gervais Street, Suite 100
Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER:



CERTIFICATE OF AUTHORIZATION:



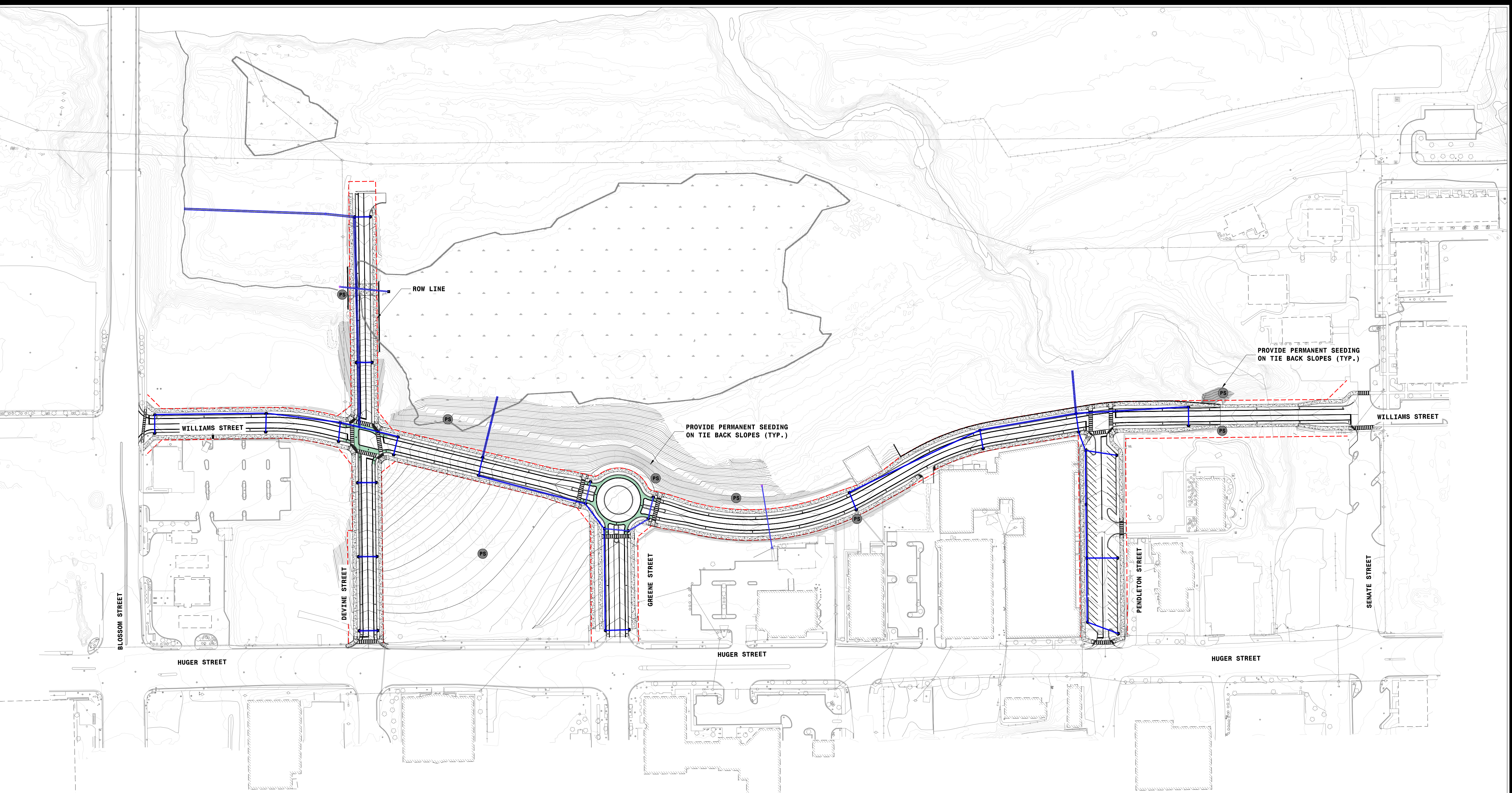
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SEE GRAPHIC SCALE		

**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**
 PHASE 2 - CONSTRUCTION

DRAWING NUMBER:
C-3.2

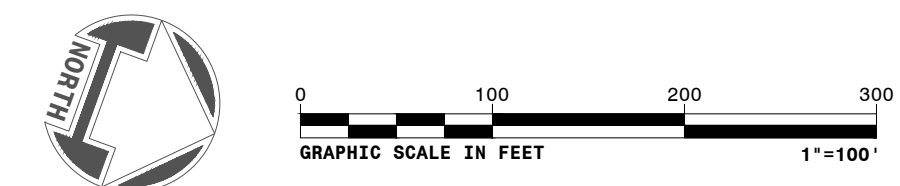
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- PHASE 3 - STABILIZATION**
1. FINE GRADING & PAVING. INLET PROTECTION ON INLETS TO BE CONVERTED AS NECESSARY.
 2. PERMANENT/FINAL STABILIZATION.
 3. CLEAN-OUT OF STORMWATER BASINS THAT WERE USED AS SEDIMENT CONTROL STRUCTURES AND RE-GRADING OF STORMWATER POND BOTTOMS; IF NECESSARY, MODIFICATION OF SEDIMENT BASIN RISER TO CONVERT TO DETENTION BASIN OUTLET STRUCTURE.
 4. REMOVAL OF TEMPORARY SEDIMENT & EROSION CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS 90% STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER/OPERATOR HAVE THE SWPPP PREPARER OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES).
 5. PERFORM AS-BUILT SURVEYS OF ALL DETENTION STRUCTURES AND SUBMIT TO DES OR MS4 FOR ACCEPTANCE AS NECESSARY.
 6. SUBMIT NOTICE OF TERMINATION (NOT) TO SCDES AS APPROPRIATE.

LEGEND

SILT FENCE		
STORM DRAIN PIPE		
LIMITS OF DISTURBANCE		
SURFACE ROUGHENING (LG)	SEDIMENT TUBE	
TEMPORARY SEEDING (TS)	CHECK DAM	
PERMANENT SEEDING (PS)	RIP RAP APRON	
CONSTRUCTION ENTRANCE (CE)	TYPE A INLET PROTECTION	
TURF REINFORCEMENT (TRM)	TYPE F INLET PROTECTION	
TEMPORARY DIVERSION	ROCK CHECK DAM	



HUSSEY GAY BELL
Established 1958

REGISTERED PROFESSIONAL ENGINEER:
SOUTH CAROLINA
No. 32125
KYLE A. BASS

CERTIFICATE OF AUTHORIZATION:
SOUTH CAROLINA
HUSSEY, GAY, BELL & DETYOUNG, INC.
CONSULTING ENGINEERS OF SC
No. 000194



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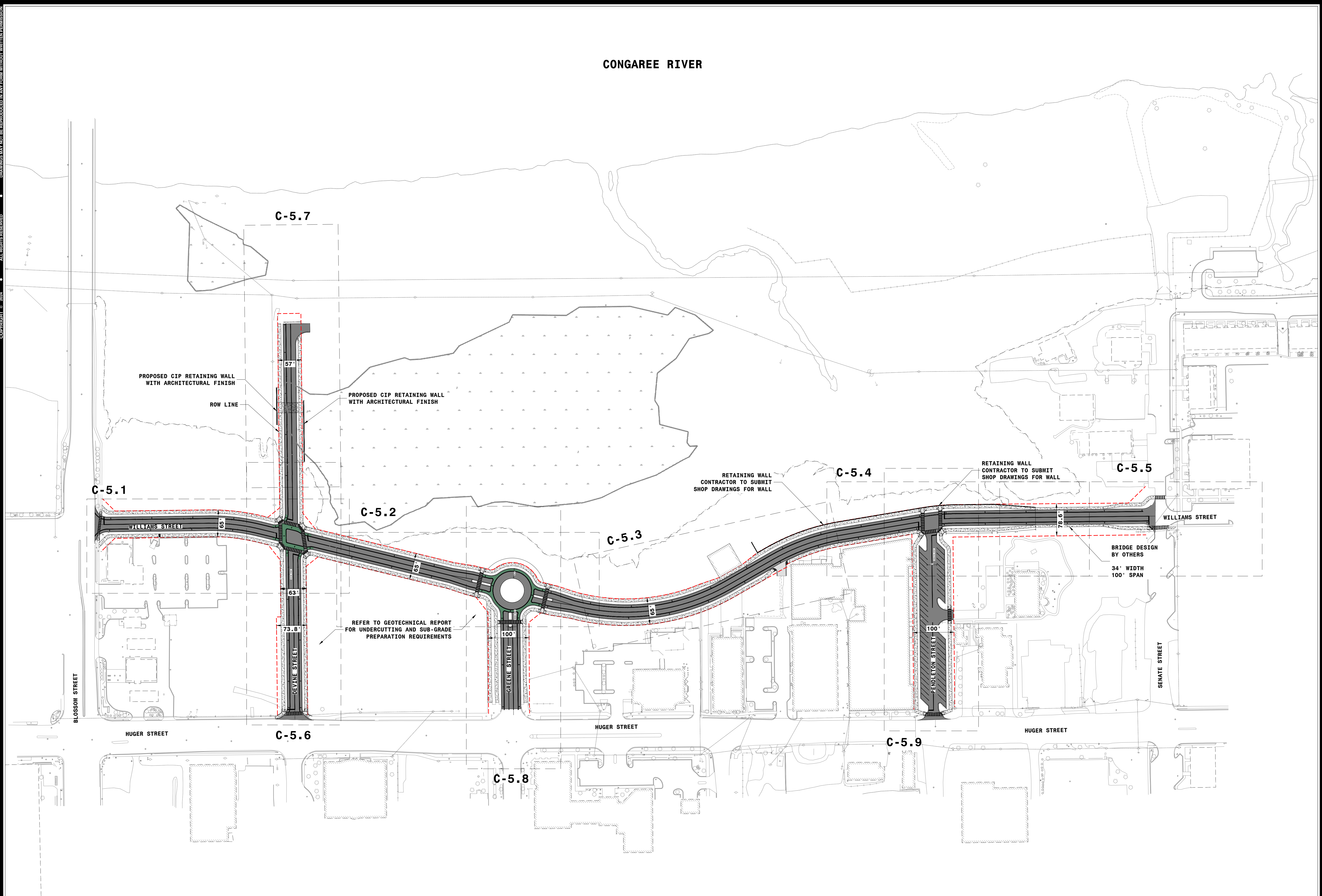
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**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**

PHASE 3 - STABILIZATION

DRAWING NUMBER:
C-3.3

CONGAREE RIVER



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 Established 1958
 Hussey, Gay, Bell & DeYoung, Inc.,
 Consulting Engineers of SC
 1010 Gervais Street, Suite 100
 Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER:
 SOUTH CAROLINA
 PROFESSIONAL ENGINEERING BOARD
 No. 32125
Paul A. Bell
 P.E.

CERTIFICATE OF AUTHORIZATION:
 SOUTH CAROLINA
 HUSSEY, GAY, BELL & DEYOUNG, INC.
 CONSULTING ENGINEERS OF SC
 No. 000194
 STATE OF AUTHORITY



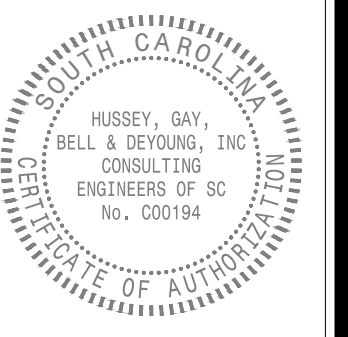
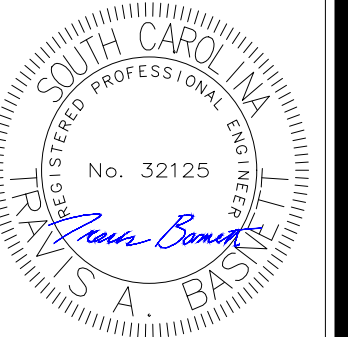
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**WILLIAM STREET EXTENSION
 COLUMBIA, SC
 FOR CITY OF COLUMBIA**
 SITE PLAN INDEX

DRAWING NUMBER:
C-5.0



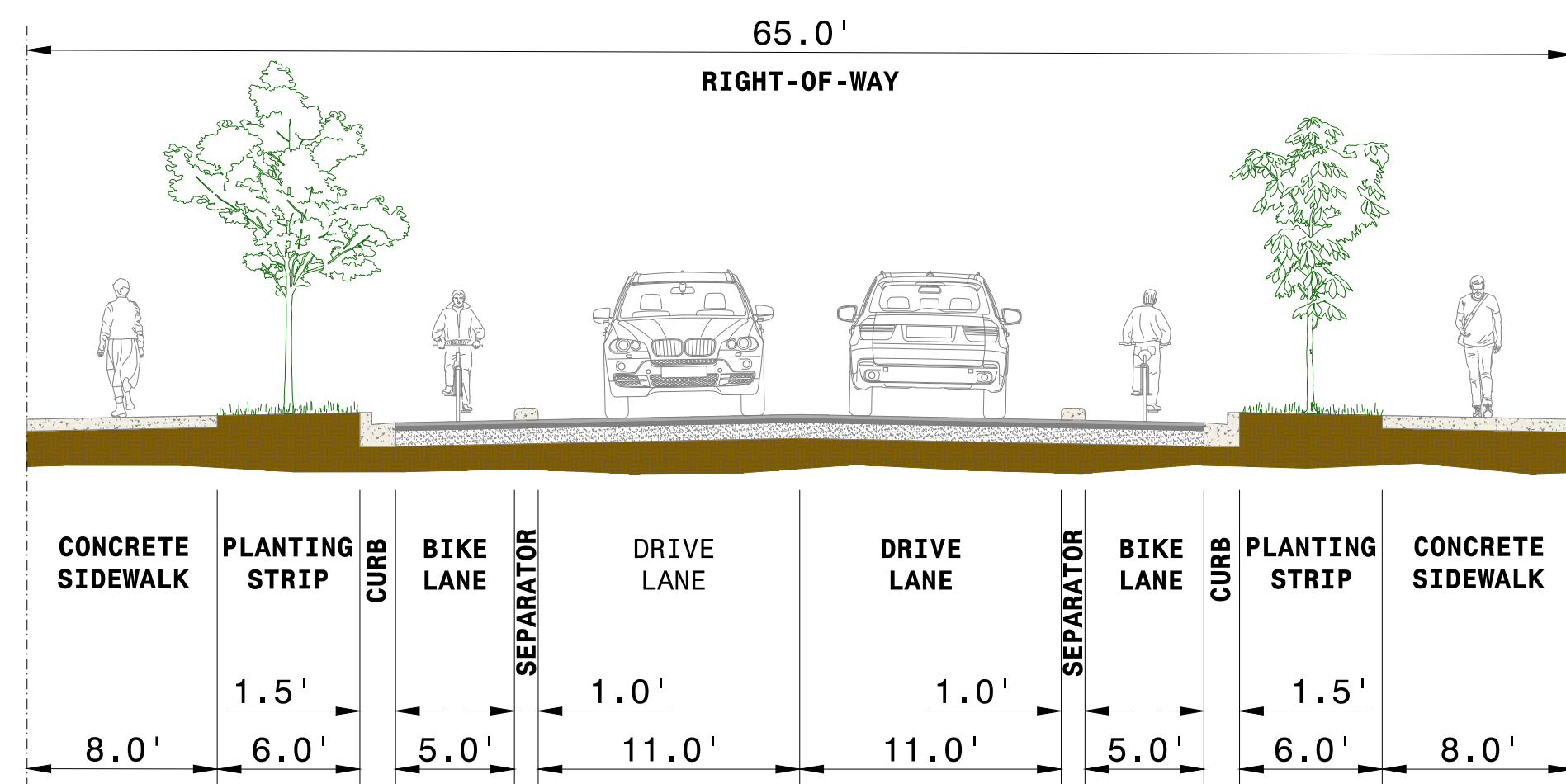
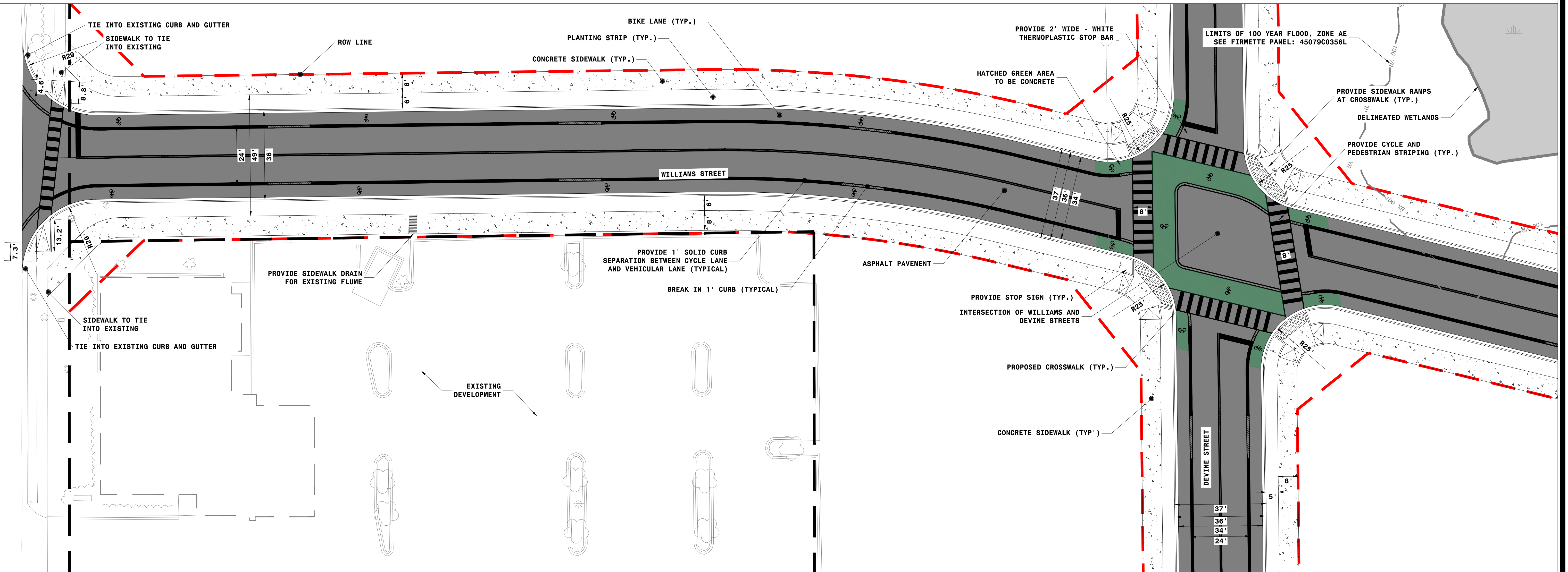
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WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA
SITE PLAN

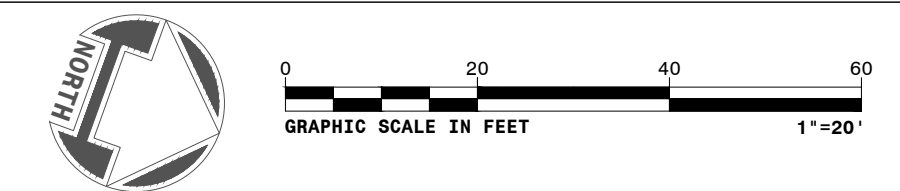
SITE PLAN: WILLIAMS STREET
STA: 0+00 - 6+00



WILLIAMS ST.

LEGEND

RIGHT OF WAY	
EXISTING PROPERTY LINE	
STOP SIGN	ADA RUMBLE STRIP
SIDEWALK HATCH	CROSS WALK
ASPHALT HATCH	STANDARD C&G
STOP BAR	CYCLE TRACK CONCRETE



OVERVIEW

THIS PROJECT IS A PLANNED EXPANSION OF THE FOLLOWING STREETS: WILLIAMS STREET, DEVINE STREET, GREENE STREET, AND PENDLETON STREET. MASS GRADING, ROAD / SIDEWALK INSTALLATION OF STORMWATER CONTROL FACILITIES, WATER & SEWER SERVICES ARE ALL INCLUDED IN THE SCOPE OF THIS PROJECT.

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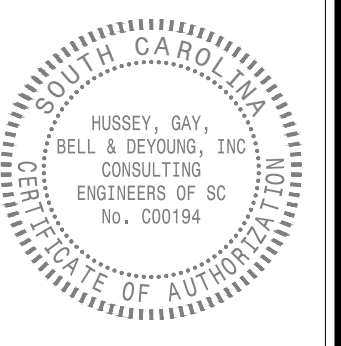
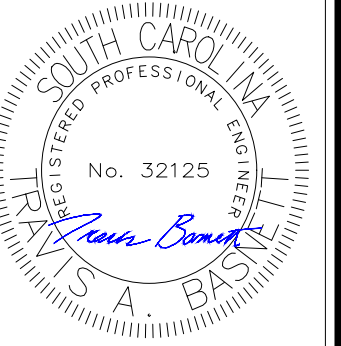
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PARCEL ZONING

ALL PARCELS IMPACTED ARE ZONING MC

SITE LAYOUT AND STAKING NOTES:

- CONTRACTOR SHALL CAREFULLY EXAMINE ALL DOCUMENTS AND THE CONSTRUCTION SITE TO OBTAIN FIRST HAND KNOWLEDGE OF EXISTING CONDITIONS.
- ENTIRE SITE SHALL BE DRESSED TO UNIFORM, WELL DRAINED AND VISUALLY APPEALING SURFACE WITH A MINIMUM TOPSOIL LAYER OF 4 INCHES.
- ALL STRIPING AND SIGNS SHALL CONFORM WITH THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE MUTCD - LATEST EDITION. PARKING STALL STRIPING TO BE WHITE WITH BLUE HANDICAPPED STRIPING.
- ALL HANDICAP PARKING SPACED AND ACCESSIBLE ROUTE SHALL CONFORM WITH ADA DESIGN GUIDELINES AND SPECIFICATIONS - LATEST EDITION.
- DIMENSIONS AND CURVE RADII ARE GIVEN TO FACE OF CURB, WHERE CURB AND GUTTER IS SHOWN. OTHERWISE DIMENSIONS ARE GIVEN TO THE EDGE OF PAVEMENT.

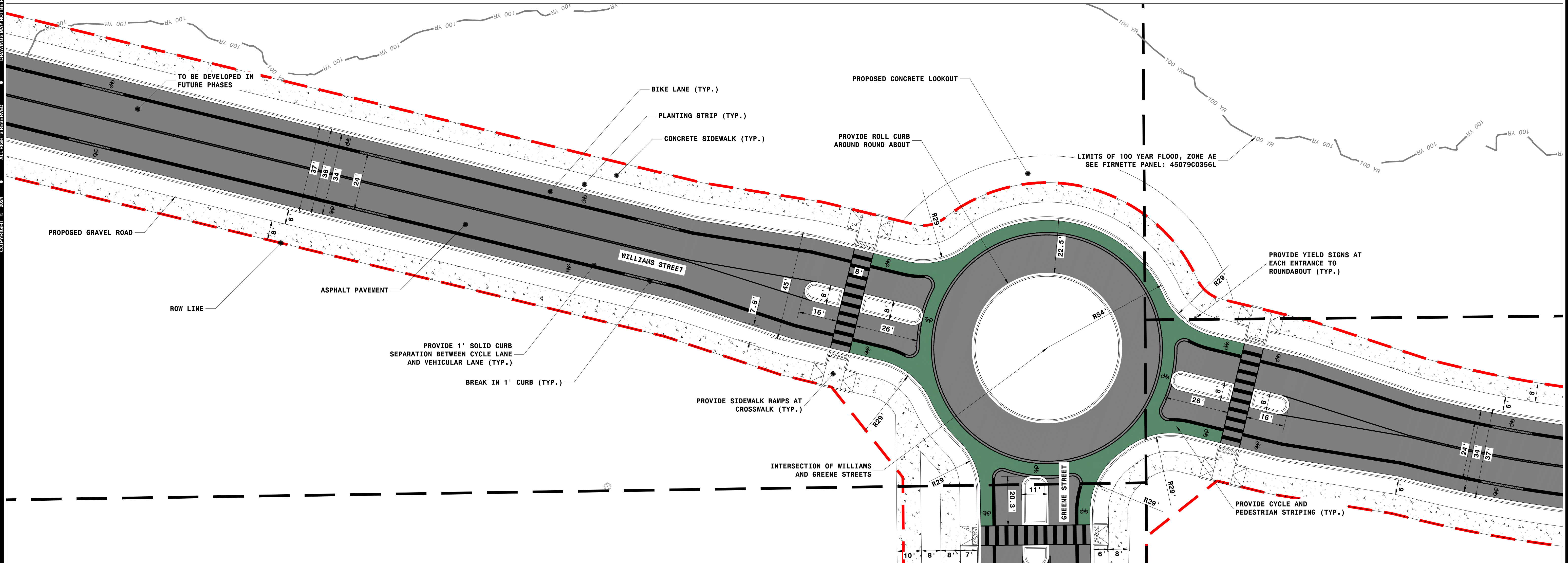


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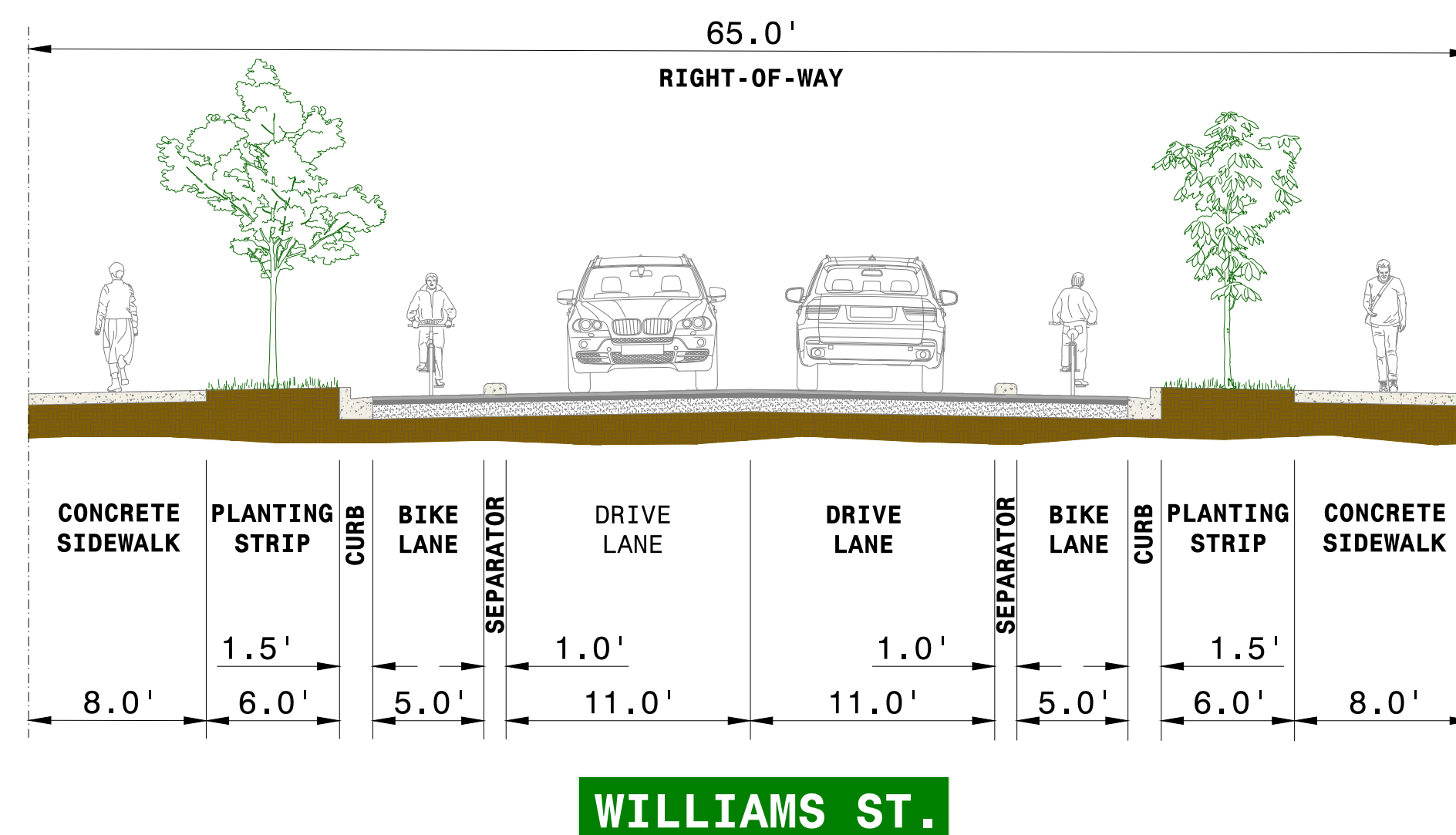
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06/11/2025		
JOB NUMBER:		
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SCALE:		
SEE GRAPHIC SCALE		

SITE PLAN: WILLIAMS STREET
STA: 6+00 - 12+50



LEGEND

RIGHT OF WAY	
EXISTING PROPERTY LINE	
STOP SIGN	
SIDEWALK HATCH	
ASPHALT HATCH	
STOP BAR	
ADA RUMBLE STRIP	
CROSS WALK	
STANDARD C&G	
CYCLE TRACK CONCRETE	



OVERVIEW

THIS PROJECT IS A PLANNED EXPANSION OF THE FOLLOWING STREETS: WILLIAMS STREET, DEVINE STREET, GREENE STREET, AND PENDLETON STREET. MASS GRADING, ROAD / SIDEWALK INSTALLATION OF STORMWATER CONTROL FACILITIES, WATER & SEWER SERVICES ARE ALL INCLUDED IN THE SCOPE OF THIS PROJECT.

PARCEL NUMBERS IMPACTED

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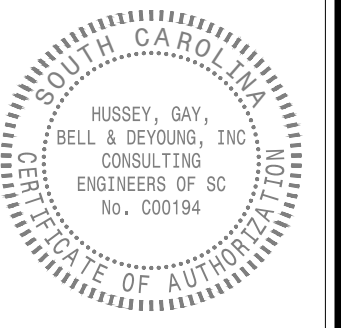
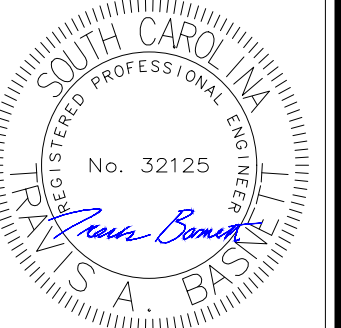
PARCEL ZONING

ALL PARCELS IMPACTED ARE ZONING MC

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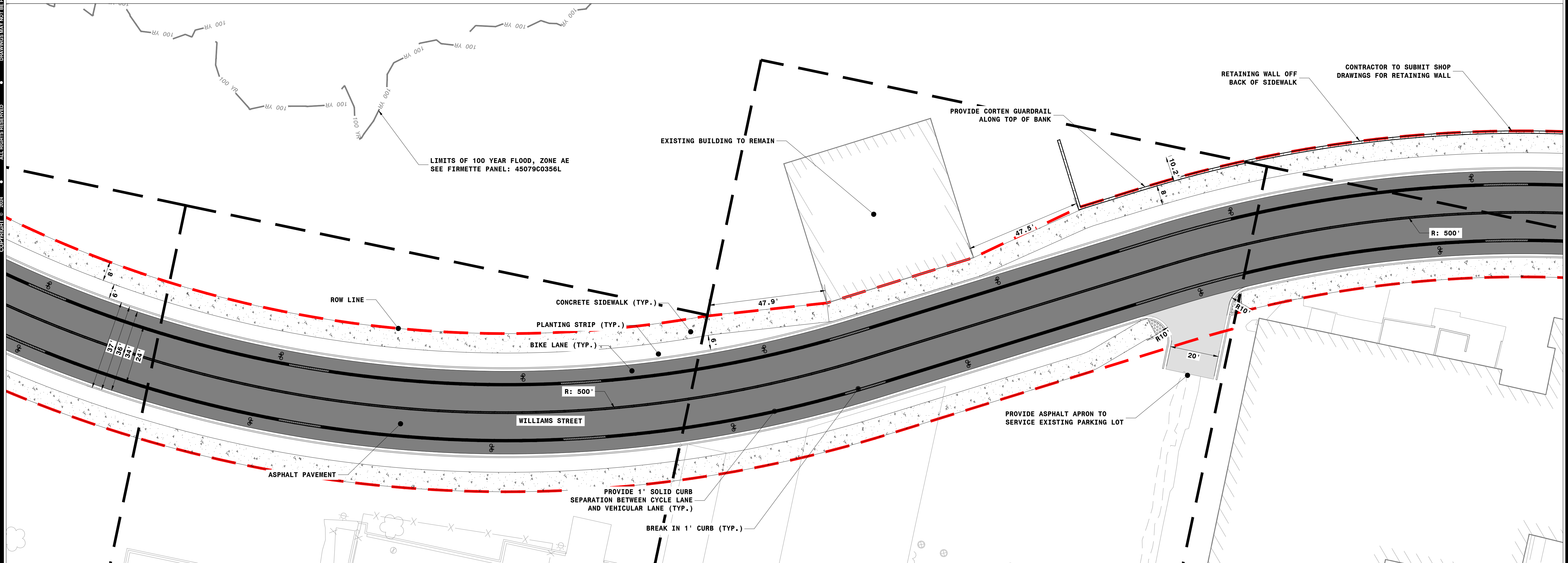
WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA
SITE PLAN



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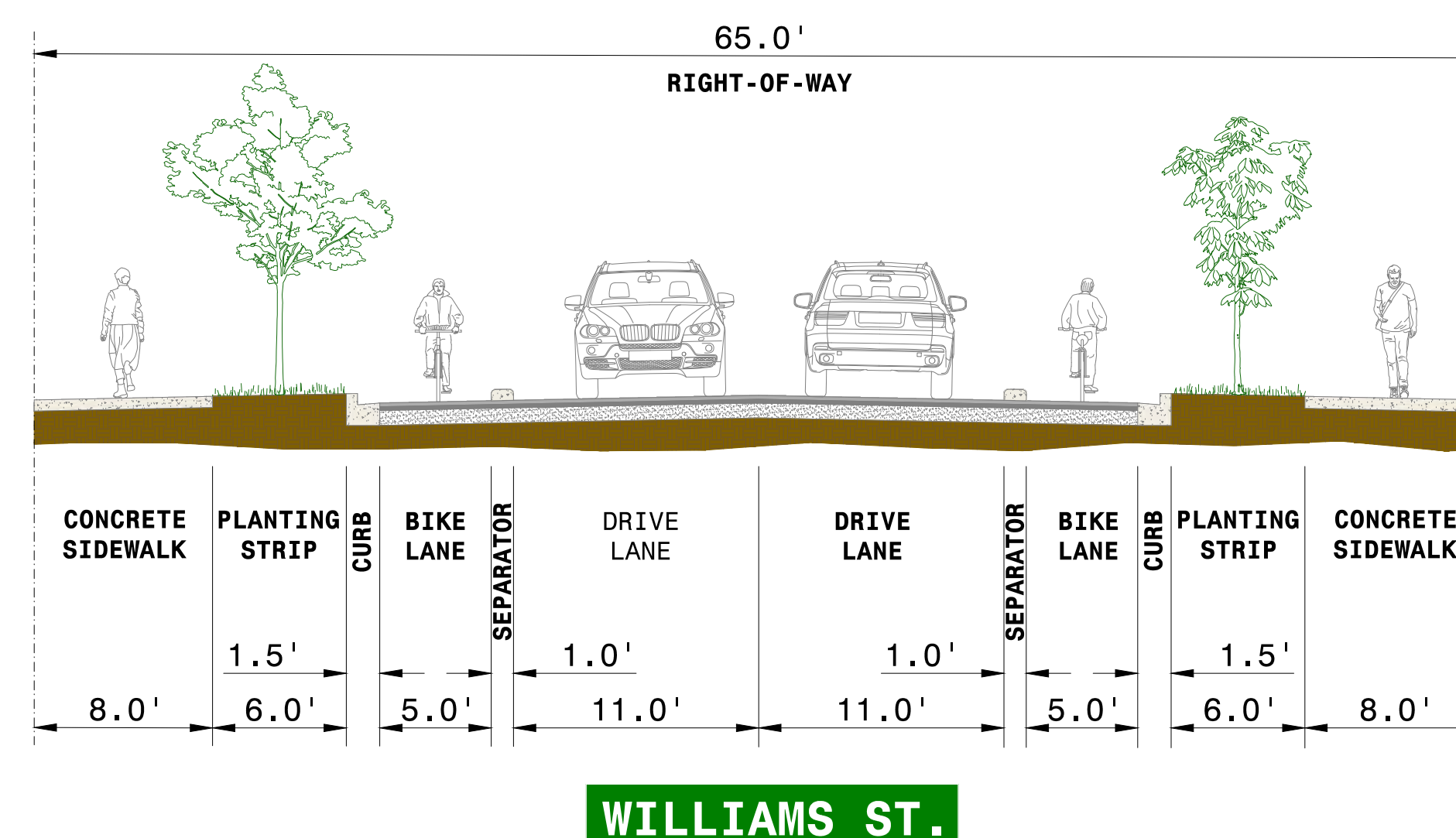
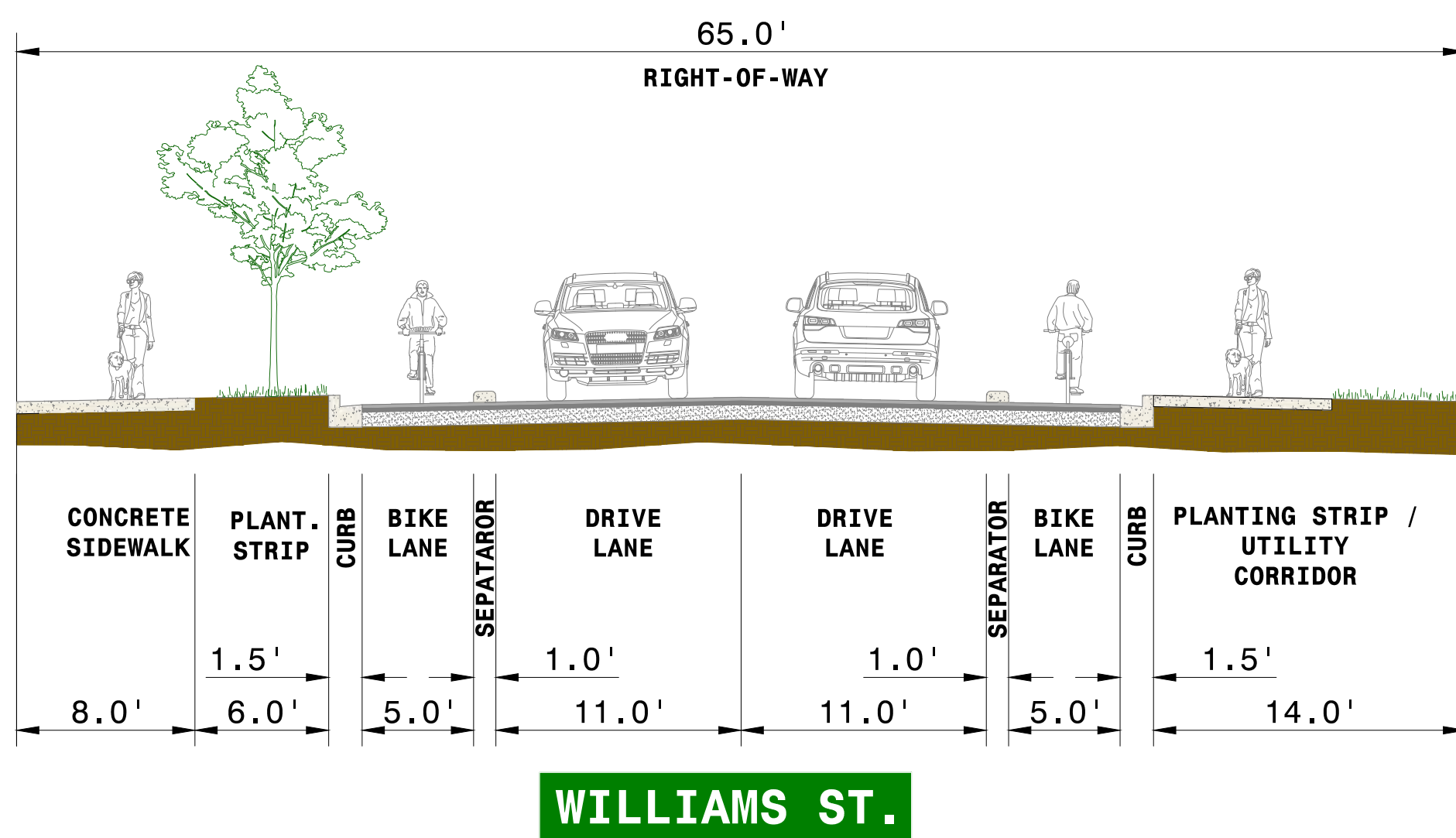
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JOB NUMBER: 324131023		
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SITE PLAN: WILLIAMS STREET
STA: 12+50 - 18+50



LEGEND

RIGHT OF WAY	---
EXISTING PROPERTY LINE	---
STOP SIGN	ADA RUMBLE STRIP
SIDEWALK HATCH	CROSS WALK
ASPHALT HATCH	STANDARD C&G
STOP BAR	CYCLE TRACK CONCRETE



OVERVIEW

THIS PROJECT IS A PLANNED EXPANSION OF THE FOLLOWING STREETS: WILLIAMS STREET, DEVINE STREET, GREENE STREET, AND PENDLETON STREET. MASS GRADING, ROAD / SIDEWALK INSTALLATION OF STORMWATER CONTROL FACILITIES, WATER & SEWER SERVICES ARE ALL INCLUDED IN THE SCOPE OF THIS PROJECT.

PARCEL NUMBERS IMPACTED

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PARCEL ZONING

- ALL PARCELS IMPACTED ARE ZONING MC

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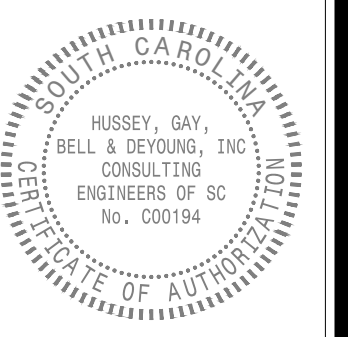
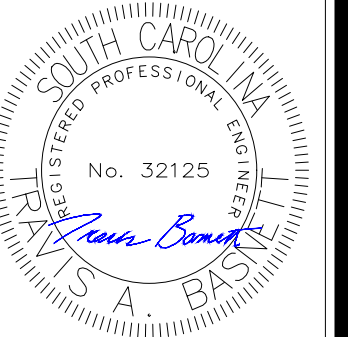
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WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA
SITE PLAN

DRAWING NUMBER:

C-5.3

Z:\Shared\001\Drawings\1. PROJ-COLA-COMMERCIAL\Thompson\WILLIAMS ST\PROJECT NUMBER WILLIAMS_CD\Construction\Final Phase 1\PH 05.0 - SITE PLANS.dwg, Plotted By: dfreeman, Plotted: Jun 11, 2025 11:06am, ALL RIGHTS RESERVED, COPYRIGHT © 2025



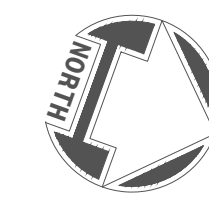
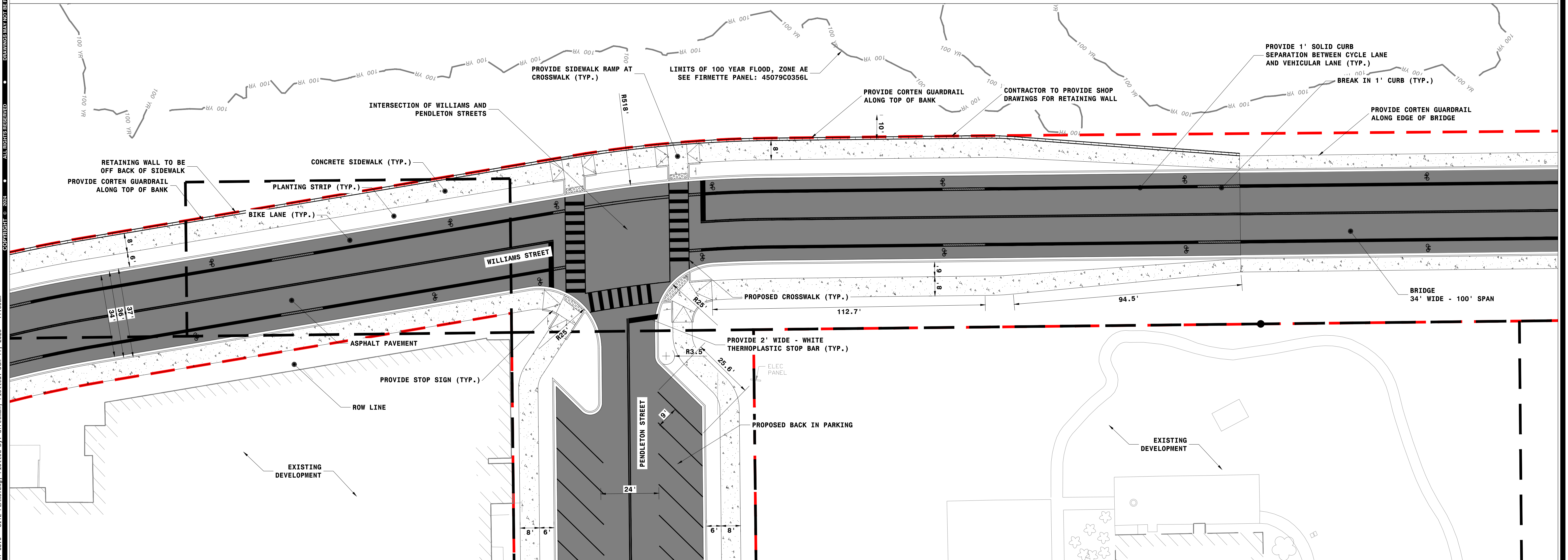
REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED:	DRAWN:	CHECKED:
DWJ	DJF	TB
DATE:		
06/11/2025		
JOB NUMBER:		
324131023		
SCALE:		
SEE GRAPHIC SCALE		

WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA
SITE PLAN

SITE PLAN: WILLIAMS STREET
STA: 18+50 - 25+00



LEGEND

RIGHT OF WAY	
EXISTING PROPERTY LINE	
STOP SIGN	ADA RUMBLE STRIP
SIDEWALK HATCH	CROSS WALK
ASPHALT HATCH	STANDARD C&G
STOP BAR	

OVERVIEW

- THIS PROJECT IS A PLANNED EXPANSION OF THE FOLLOWING STREETS: WILLIAMS STREET, DEVINE STREET, GREENE STREET, AND PENDLETON STREET. MASS GRADING, ROAD / SIDEWALK INSTALLATION OF STORMWATER CONTROL FACILITIES, WATER & SEWER SERVICES ARE ALL INCLUDED IN THE SCOPE OF THIS PROJECT.

PARCEL NUMBERS IMPACTED

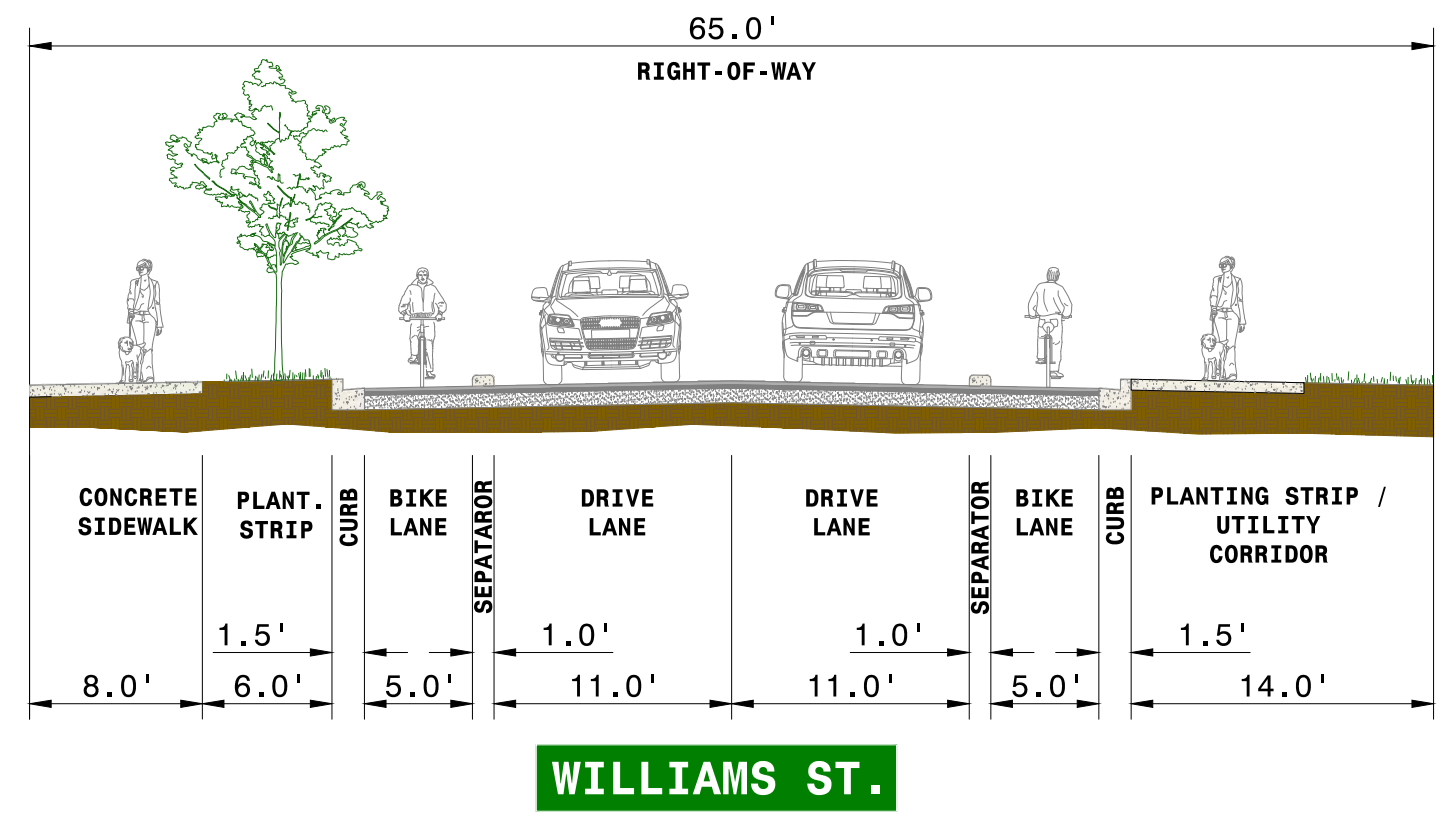
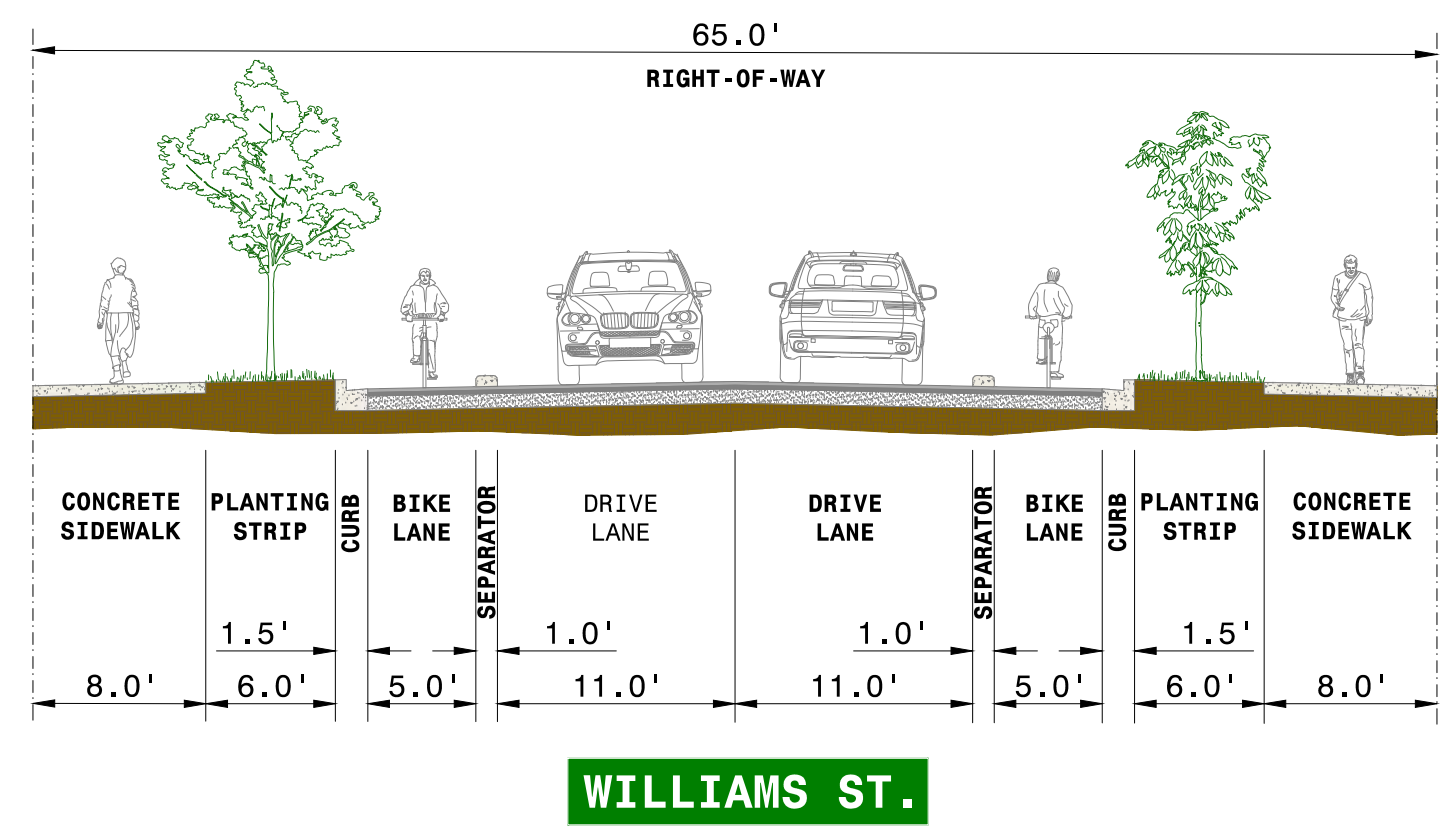
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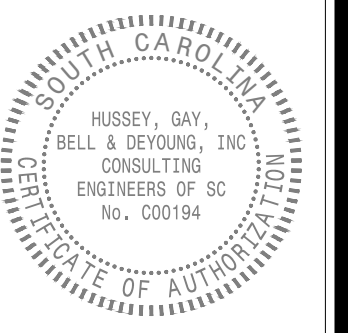
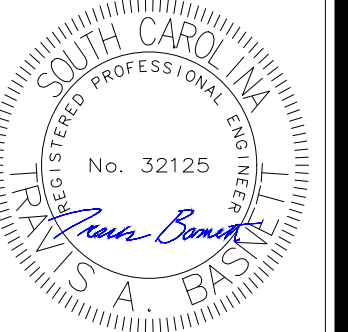
PARCEL ZONING

- ALL PARCELS IMPACTED ARE ZONING MC

SITE LAYOUT AND STAKING NOTES:

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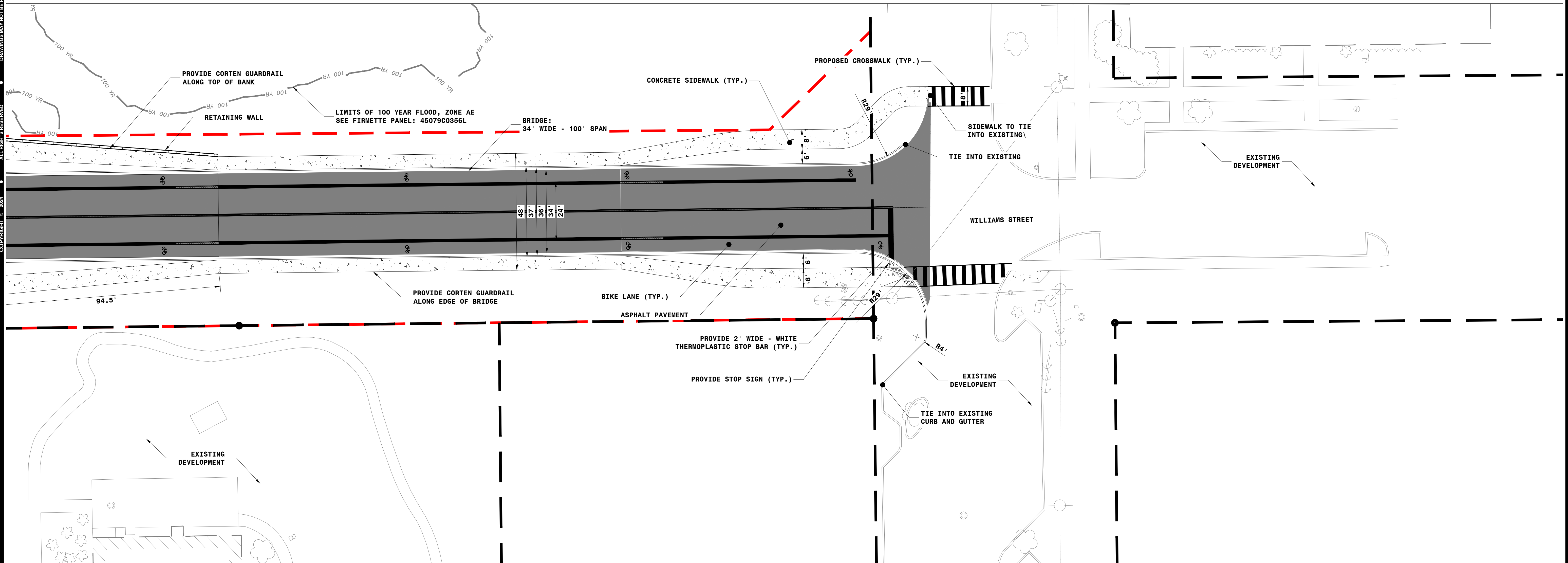




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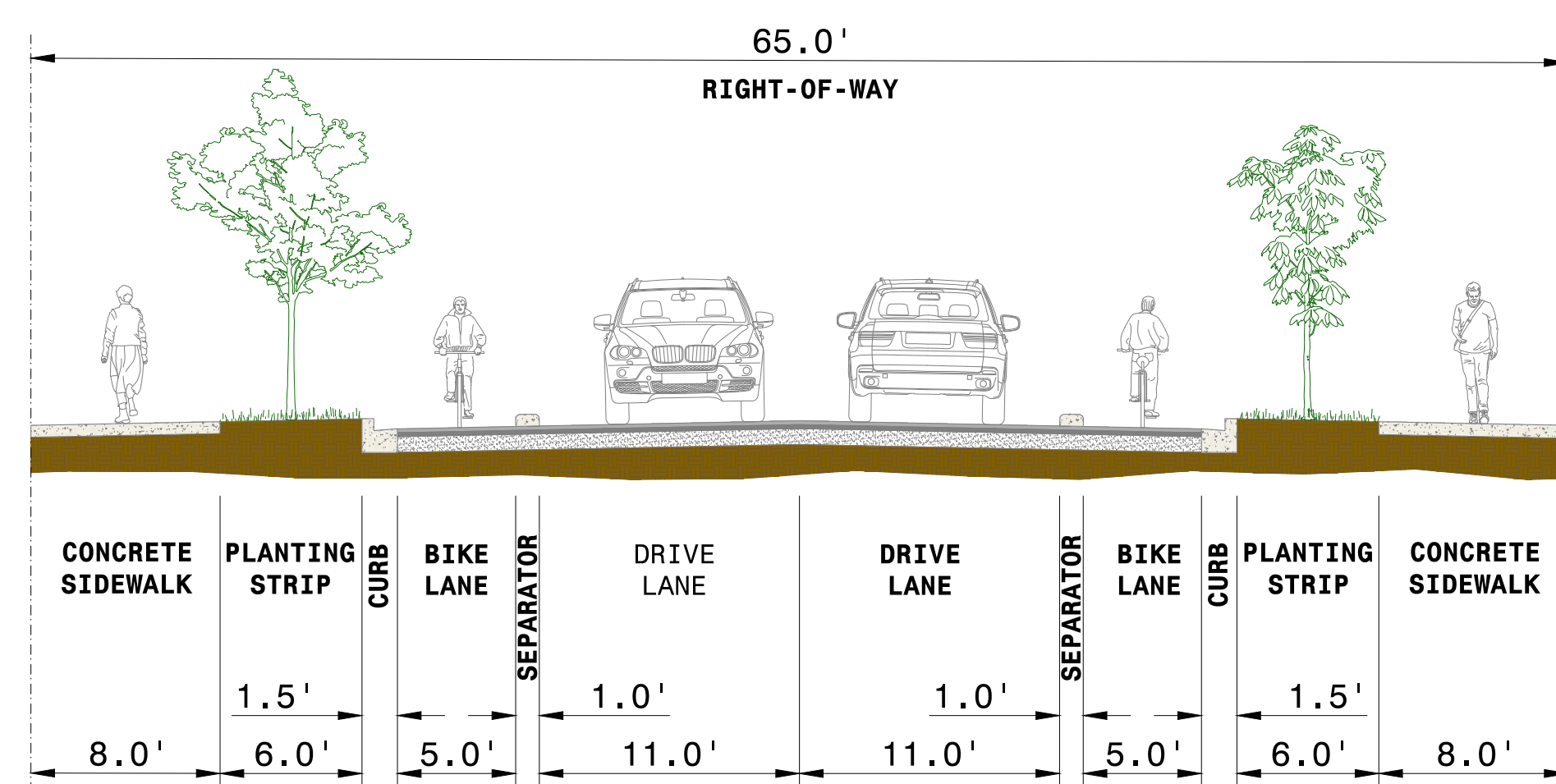
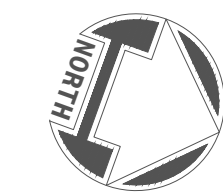
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DWJ	DJF	TB
DATE: 06/11/2025		
JOB NUMBER: 324131023		
SCALE: SEE GRAPHIC SCALE		

SITE PLAN: WILLIAMS STREET
STA: 25+00 - END



LEGEND

RIGHT OF WAY	
EXISTING PROPERTY LINE	
STOP SIGN	ADA RUMBLE STRIP
SIDEWALK HATCH	CROSS WALK
ASPHALT HATCH	STANDARD C&G
STOP BAR	



WILLIAMS ST.

OVERVIEW

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PARCEL NUMBERS IMPACTED

R08910-01-08, R08910-01-01, R08910-01-02, R08911-01-14, R08911-01-13, R08911-01-12, R08911-01-11, R08911-01-09

PARCEL ZONING

ALL PARCELS IMPACTED ARE ZONING MC

SITE LAYOUT AND STAKING NOTES:

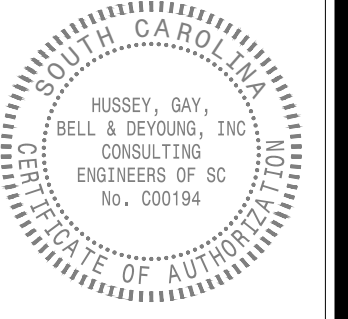
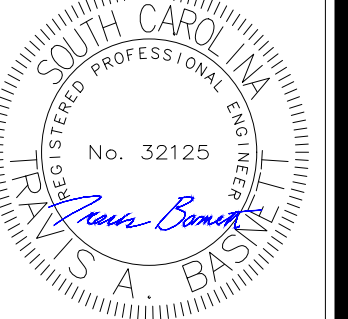
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**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**
SITE PLAN

DRAWING NUMBER:

C-5.5

Z:\Shared\001\Drawings\1. PROJ-COLA-COMMERCIAL\Thompson\WILLIAMS ST\PROJECT NUMBER WILLIAMS_CD\Construction\Final Phase 1\PH 05.0 - SITE PLANS.dwg, Plotted By: dfreeman, Plotted: Jun 11, 2025 11:07am



REVISIONS:

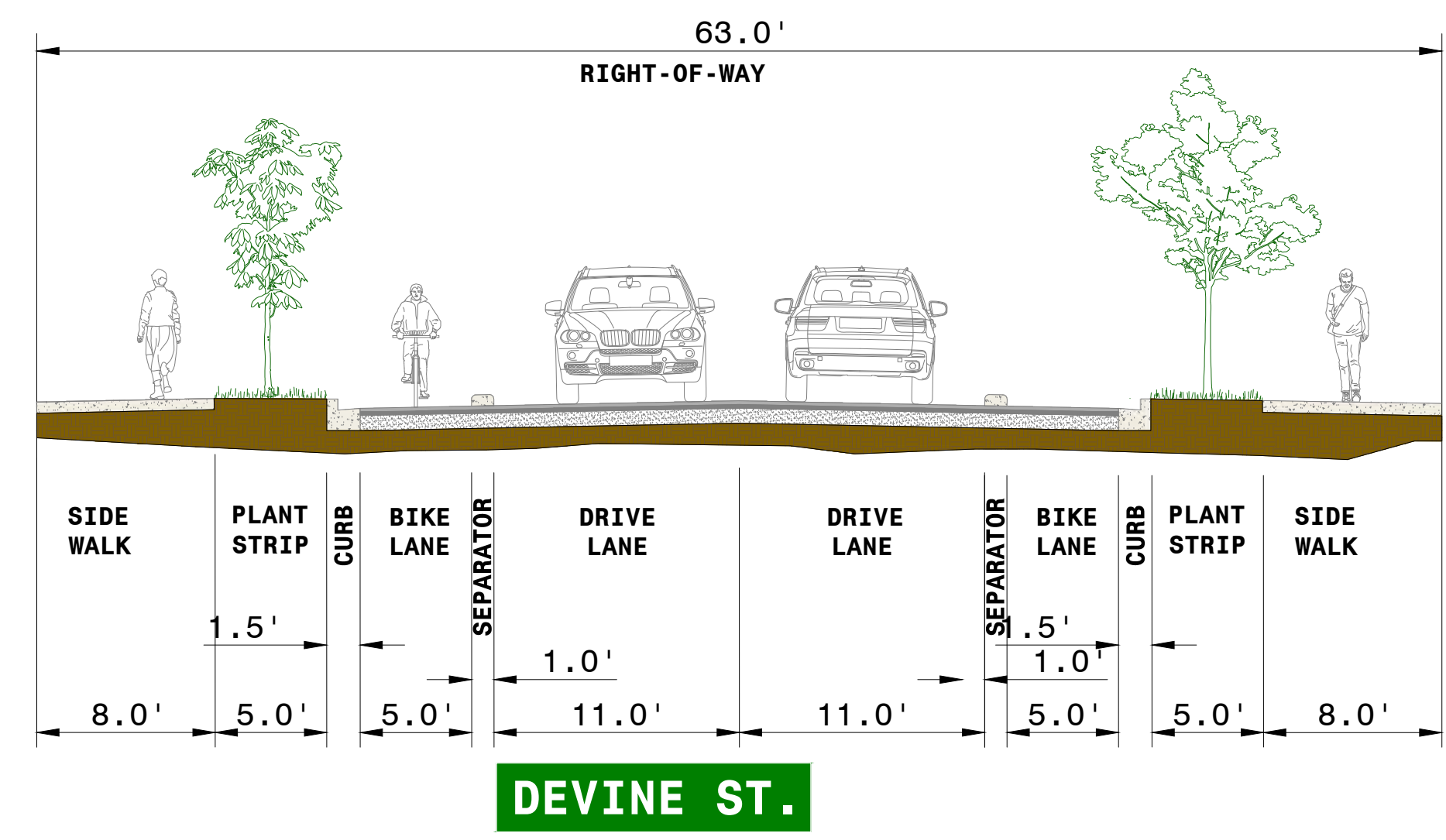
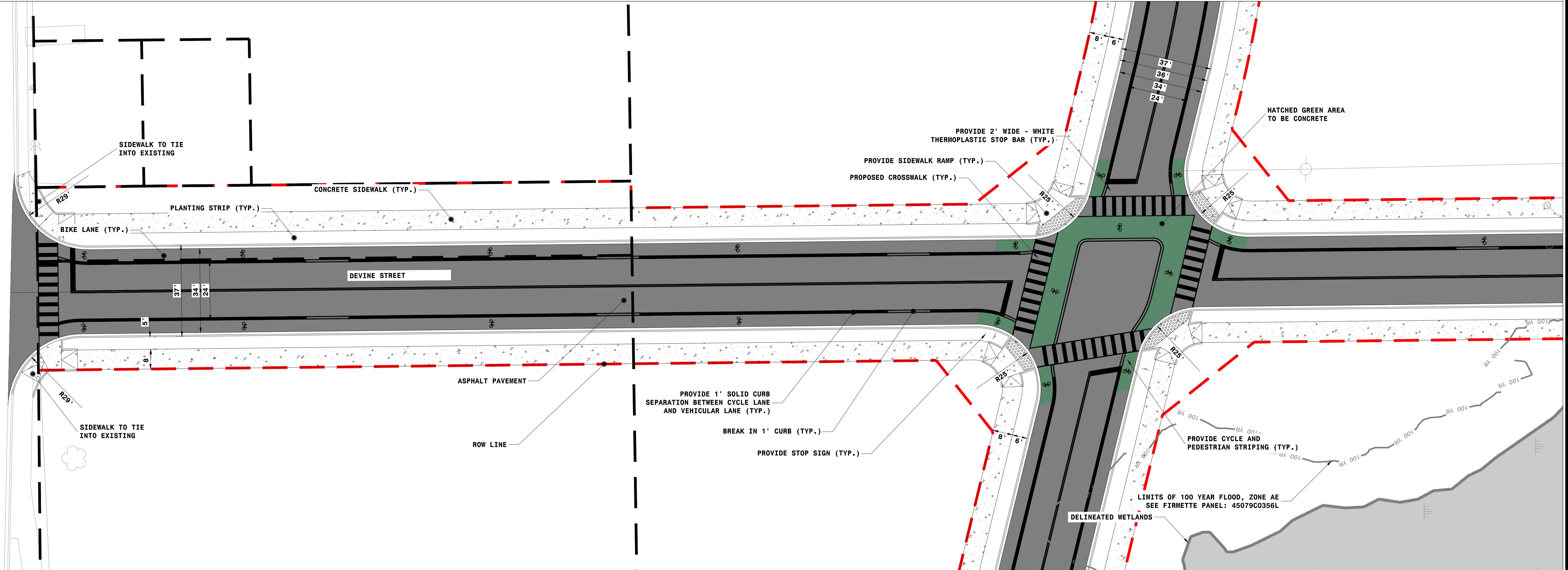
NO.	DATE	DESCRIPTION

DESIGNED:	DRAWN:	CHECKED:
DWJ	DJF	TB
DATE: 06/11/2025		
JOB NUMBER: 324131023		
SCALE: SEE GRAPHIC SCALE		

**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**

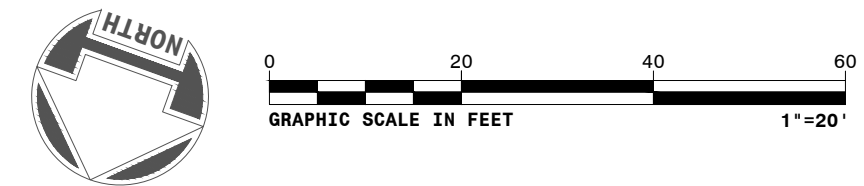
SITE PLAN

SITE PLAN: DEVINE STREET
STA: 0+00 - 6+00



LEGEND

RIGHT OF WAY	---
EXISTING PROPERTY LINE	---
STOP SIGN	STOP SIGN
SIDEWALK HATCH	CROSS WALK
ASPHALT HATCH	STANDARD C&G
STOP BAR	CYCLE TRACK CONCRETE
	ADA RUMBLE STRIP



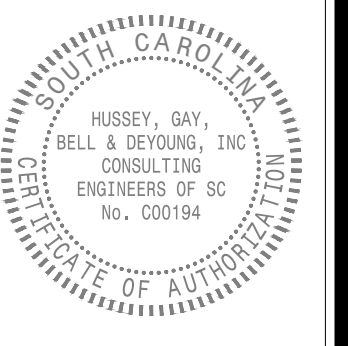
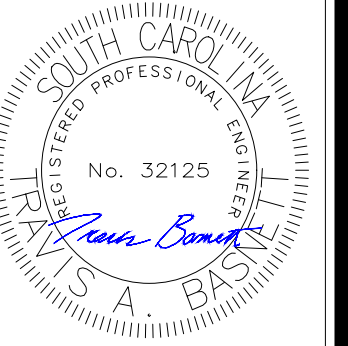
OVERVIEW
THIS PROJECT IS A PLANNED EXPANSION OF THE FOLLOWING STREETS: WILLIAMS STREET, DEVINE STREET, GREENE STREET, AND PENDLETON STREET. MASS GRADING, ROAD / SIDEWALK INSTALLATION OF STORMWATER CONTROL FACILITIES, WATER & SEWER SERVICES ARE ALL INCLUDED IN THE SCOPE OF THIS PROJECT.

PARCEL NUMBERS IMPACTED
R08910-01-08, R08910-01-01, R08910-01-02, R08911-01-14, R08911-01-13, R08911-01-12, R08911-01-11, R08911-01-09

PARCEL ZONING
ALL PARCELS IMPACTED ARE ZONING MC

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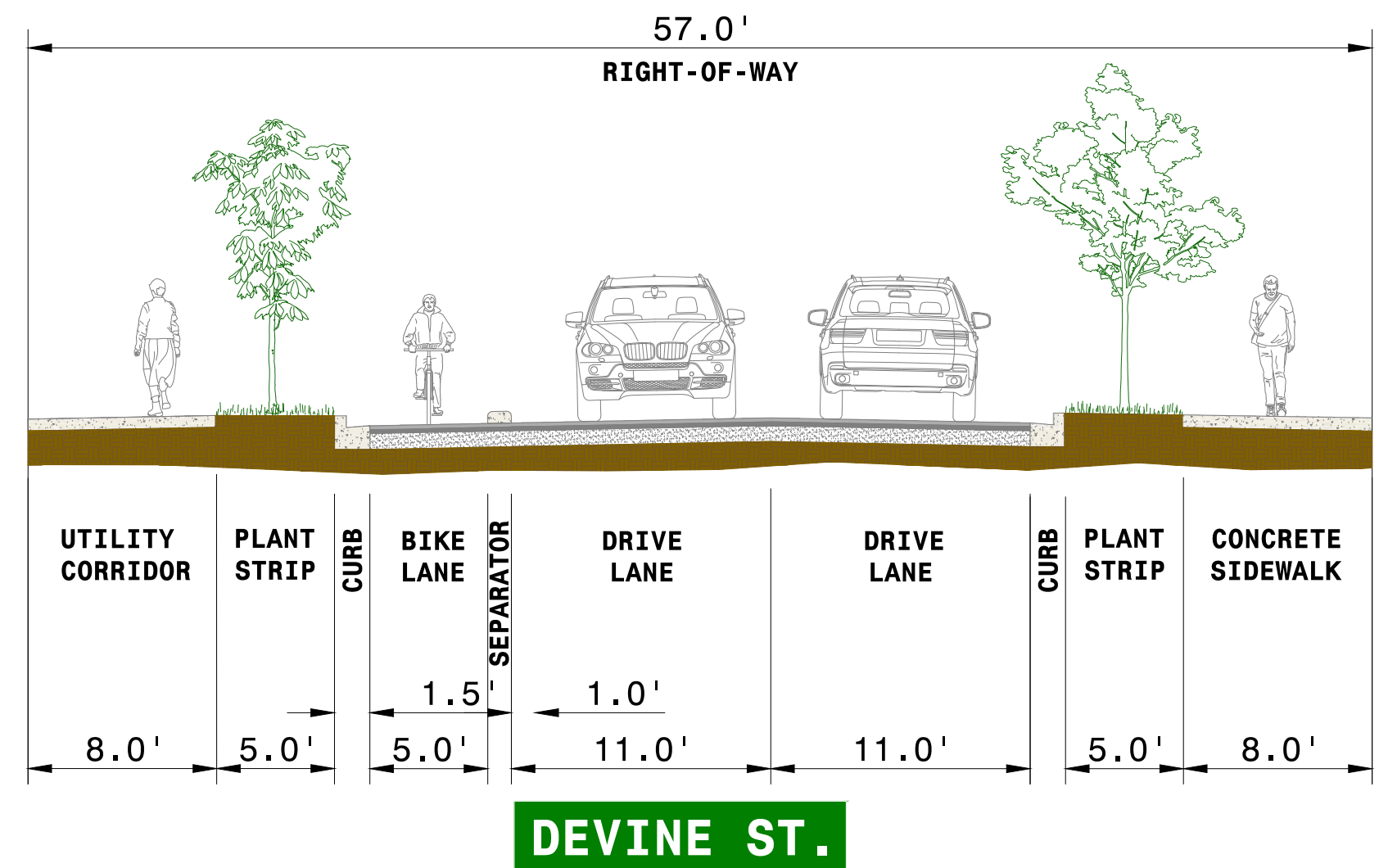
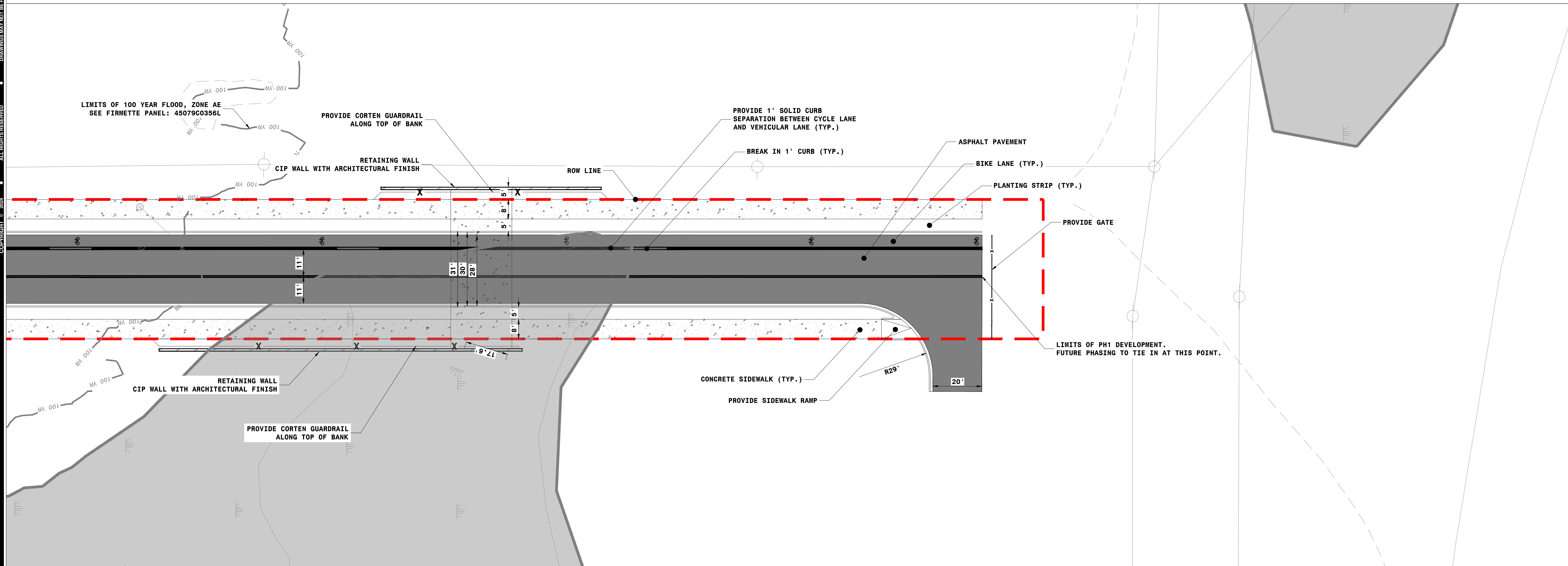
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REVISIONS:

DESIGNED:	DRAWN:	CHECKED:
DWJ	DJF	TB
DATE: 06/11/2025		
JOB NUMBER: 324131023		
SCALE: SEE GRAPHIC SCALE		

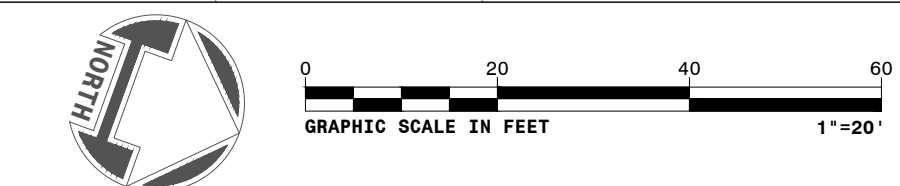
SITE PLAN: DEVINE STREET
STA: 6+00 - END



DEVINE ST.

LEGEND

RIGHT OF WAY	
EXISTING PROPERTY LINE	
STOP SIGN	ADA RUMBLE STRIP
SIDEWALK HATCH	CROSS WALK
ASPHALT HATCH	STANDARD C&G
STOP BAR	



OVERVIEW

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R08910-01-08, R08910-01-01, R08910-01-02, R08911-01-14, R08911-01-13, R08911-01-12, R08911-01-11, R08911-01-09

PARCEL ZONING

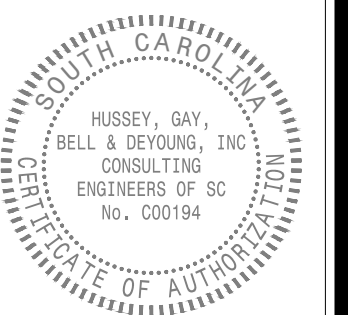
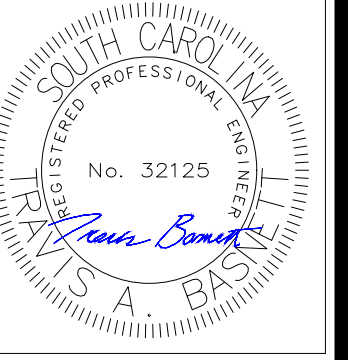
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WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA
SITE PLAN

Z:\Shared\001\Drawings\1. PROJ-COLA-COMMERCIAL\Thompson\WILLIAMS ST PROJECT NUMBER WILLIAMS CAD Construction\Final Phase 1\PH 05.0 - SITE PLANS.dwg, Plotted By: dfrummin, Plotted: Jun 11, 2025 - 11:07am. COPYRIGHT © 2025. ALL RIGHTS RESERVED. DRAWINGS MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.



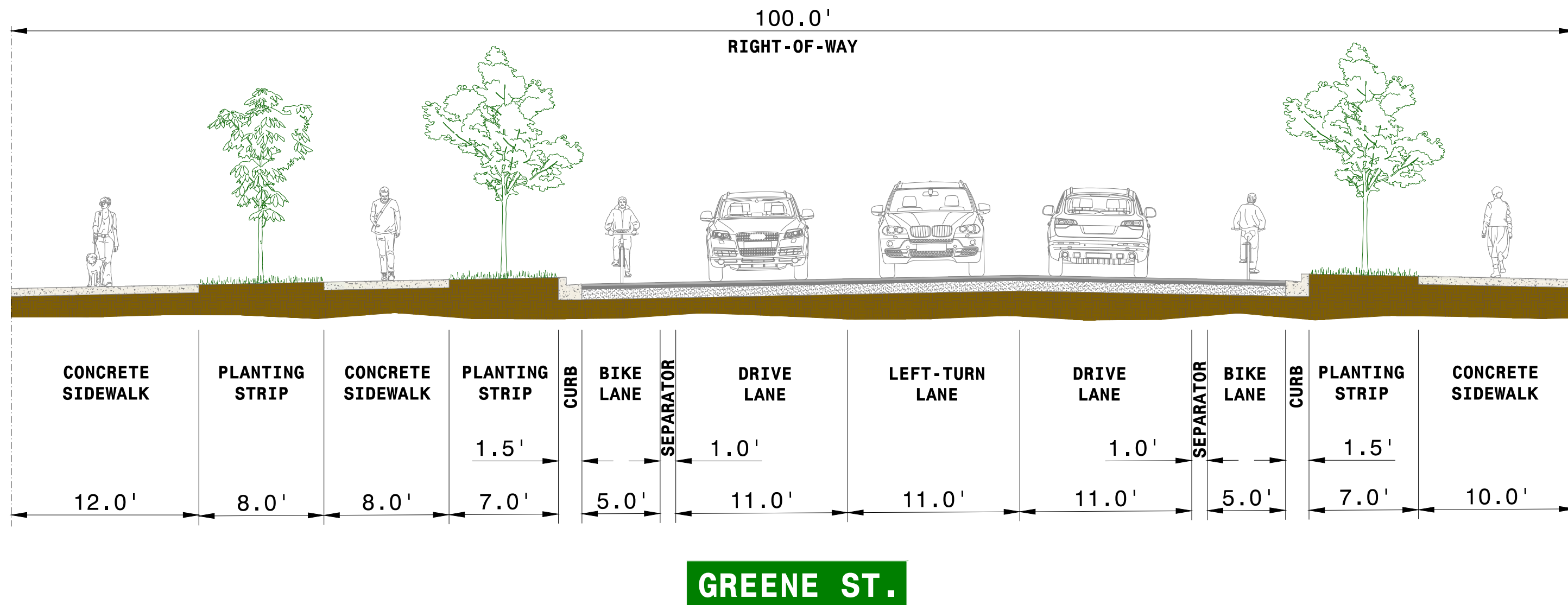
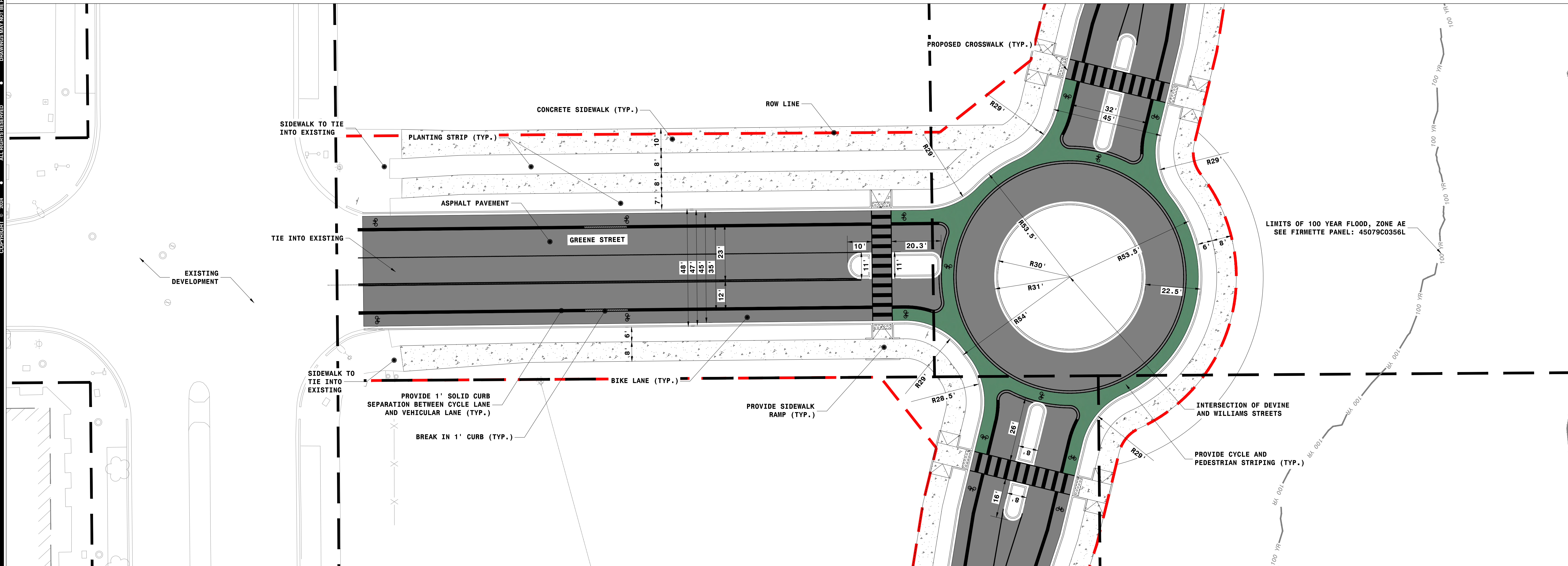
REVISIONS:

DESIGNED:	DWJ	CHECKED:	TB
DRAWN:	DJF	DATE:	06/11/2025
JOB NUMBER:	324131023	SCALE:	SEE GRAPHIC SCALE

**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**

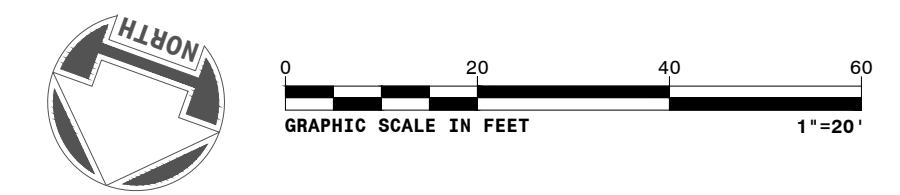
SITE PLAN

SITE PLAN: GREENE STREET



LEGEND

RIGHT OF WAY	
EXISTING PROPERTY LINE	
STOP SIGN	
SIDEWALK HATCH	
ASPHALT HATCH	
STOP BAR	
ADA RUMBLE STRIP	
CROSS WALK	
STANDARD C&G	
CYCLE TRACK CONCRETE	



OVERVIEW

THIS PROJECT IS A PLANNED EXPANSION OF THE FOLLOWING STREETS: WILLIAMS STREET, DEVINE STREET, GREENE STREET, AND PENDLETON STREET. MASS GRADING, ROAD / SIDEWALK INSTALLATION OF STORMWATER CONTROL FACILITIES, WATER & SEWER SERVICES ARE ALL INCLUDED IN THE SCOPE OF THIS PROJECT.

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R08910-01-08, R08910-01-01, R08910-01-02, R08911-01-14, R08911-01-13, R08911-01-12, R08911-01-11, R08911-01-09

PARCEL ZONING

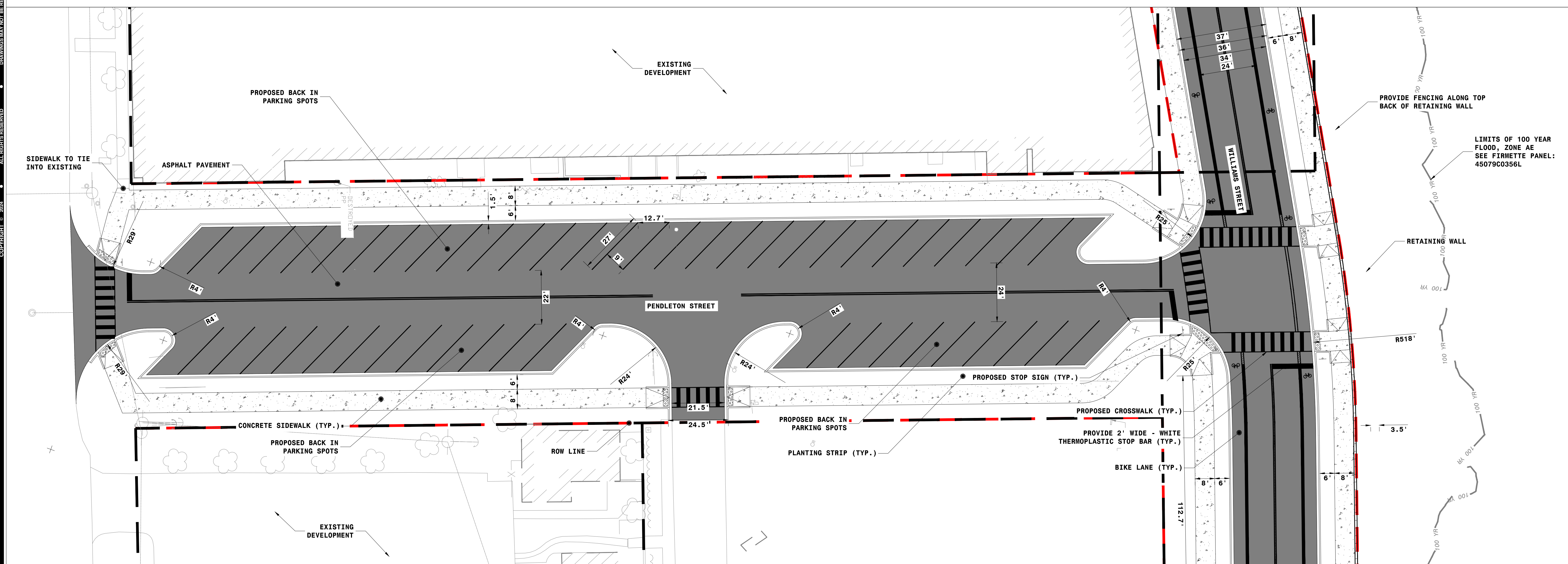
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SITE PLAN: PENDLETON STREET



HUSSEY GAY BELL
Established 1958

Hussey, Gay, Bell & DeYoung, Inc.,
Consulting Engineers of SC
1010 Gervais Street, Suite 100
Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER:
SOUTH CAROLINA
No. 32125

CERTIFICATE OF AUTHORIZATION:
SOUTH CAROLINA
HUSSEY, GAY, BELL & DEYOUNG, INC.
CONSULTING ENGINEERS OF SC
No. 00194

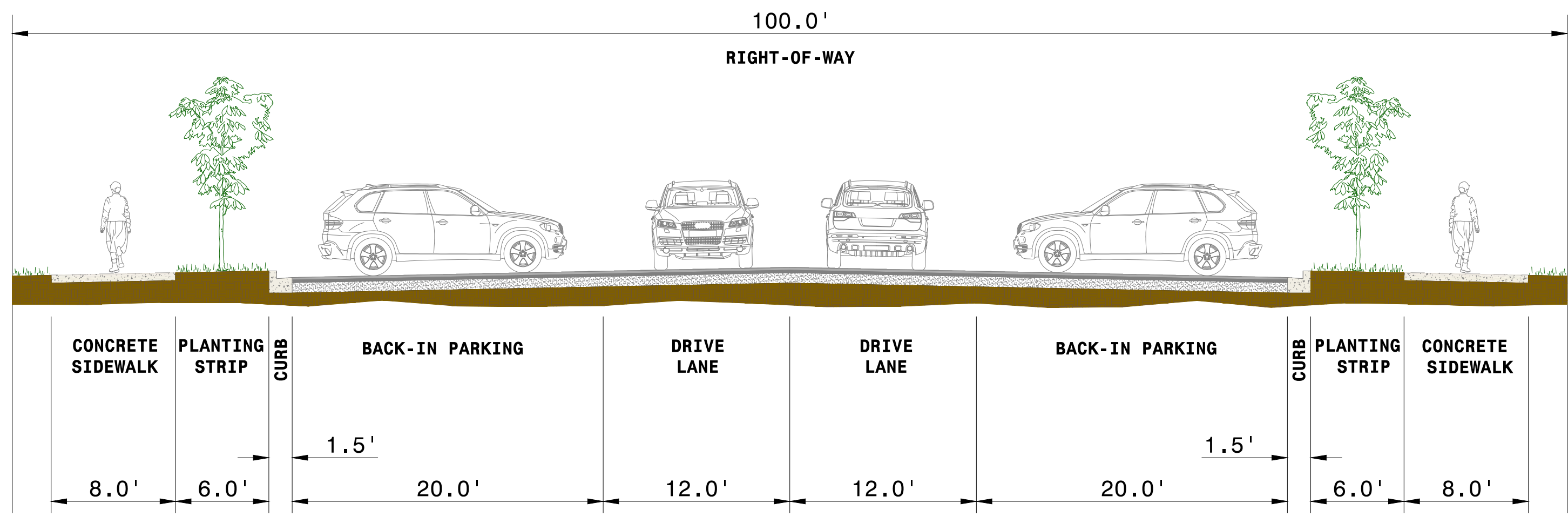
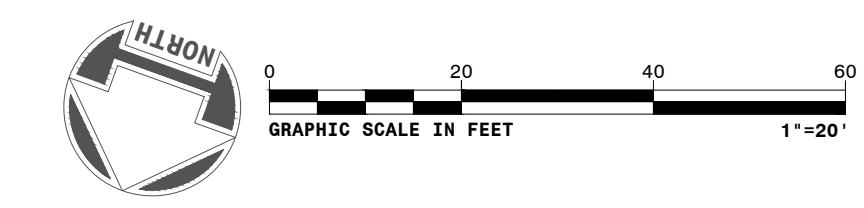


REVISIONS:

DESIGNED:	DRAWN:	CHECKED:
DWJ	DJF	TB
DATE: 06/11/2025		
JOB NUMBER: 324131023		
SCALE: SEE GRAPHIC SCALE		

LEGEND

RIGHT OF WAY	
EXISTING PROPERTY LINE	
STOP SIGN	
SIDEWALK HATCH	
ASPHALT HATCH	
STOP BAR	
ADA RUMBLE STRIP	
CROSS WALK	
STANDARD C&G	
CYCLE TRACK CONCRETE	



PENDLETON ST.
STATION 0+00 - STATION 4+84

OVERVIEW
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Z:\Shared\001\Drawings\PROJ-COLA-COMMERCIAL\Thompson\WILLIAMS ST PROJECT NUMBER WILLIAMS, COLA Construction\Final Phase 1\PH 05.0 - SITE PLANS.dwg, Plotted By: dfreeman, Plotted: Jun 11, 2025 11:07am

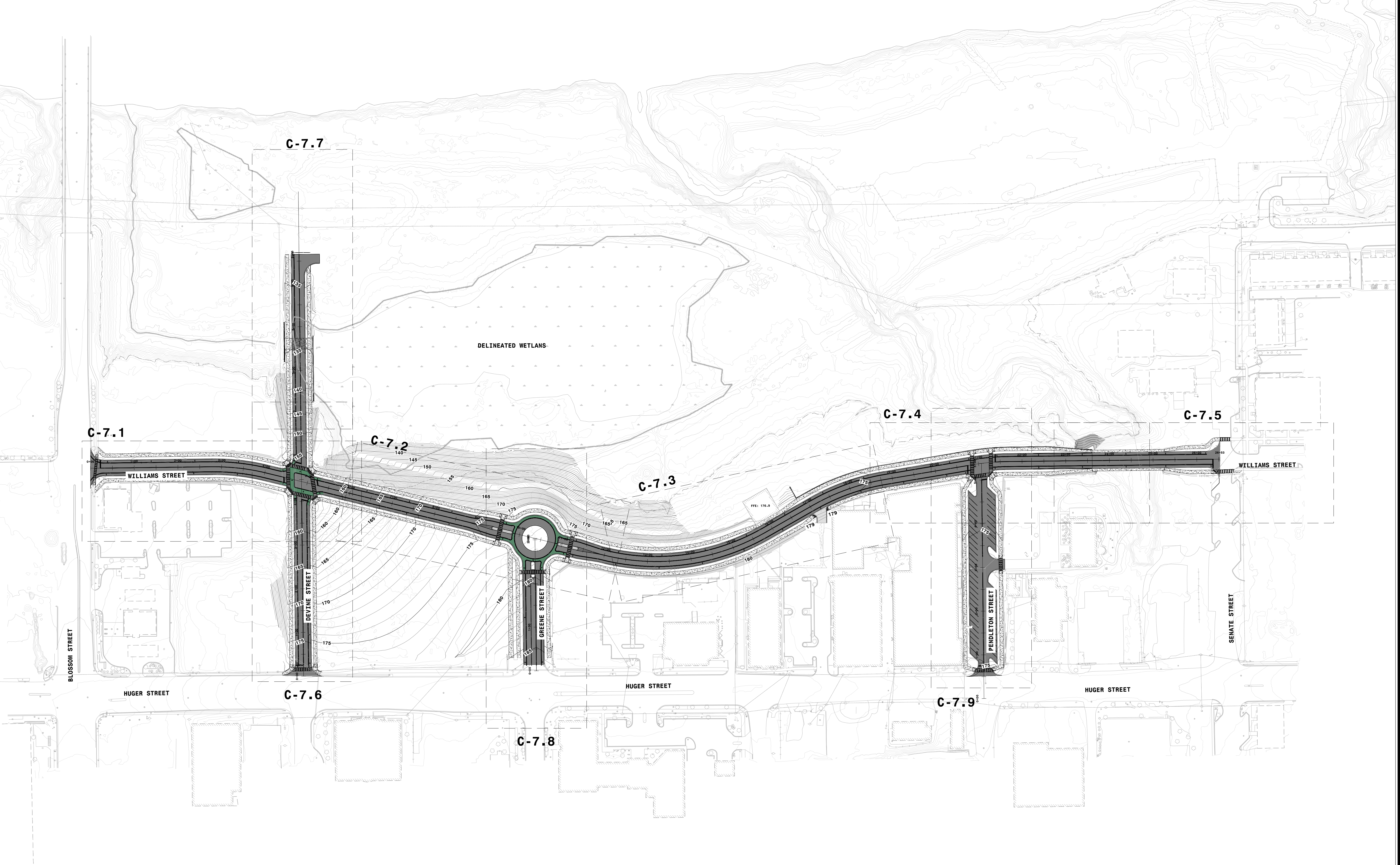
**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**

SITE PLAN

DRAWING NUMBER:
C-5.9

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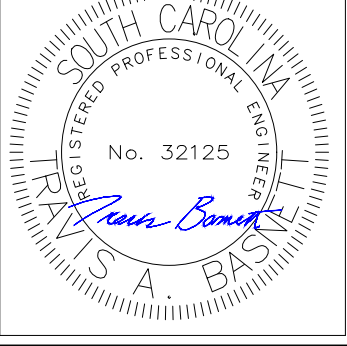
CONGAREE RIVER



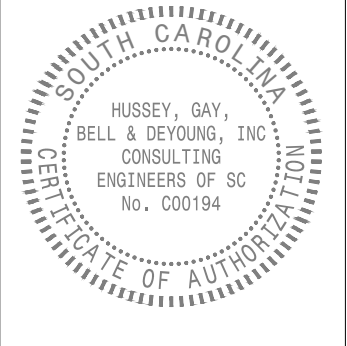
HUSSEY GAY BELL
Established 1958

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Columbia, SC 29201

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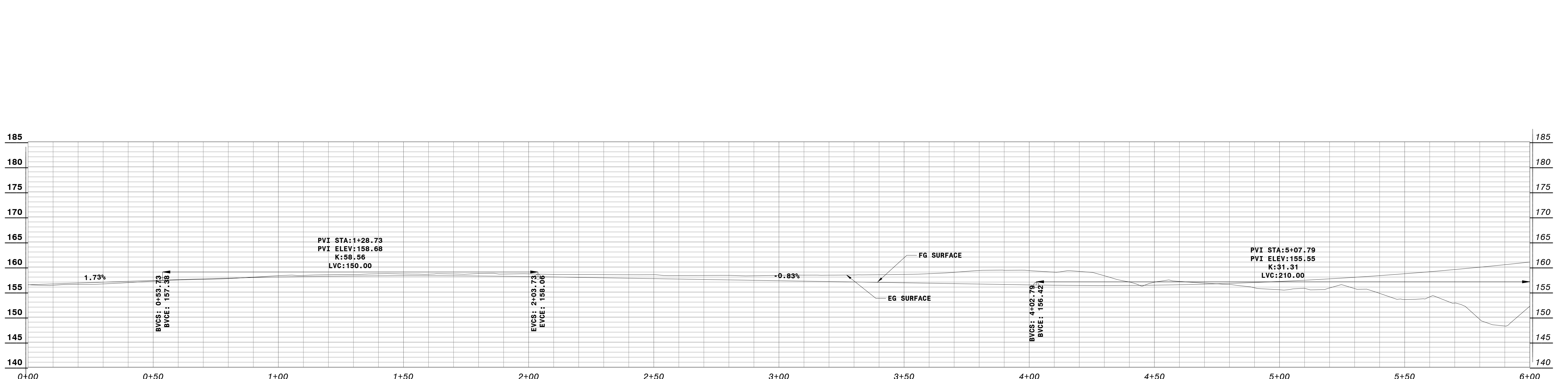
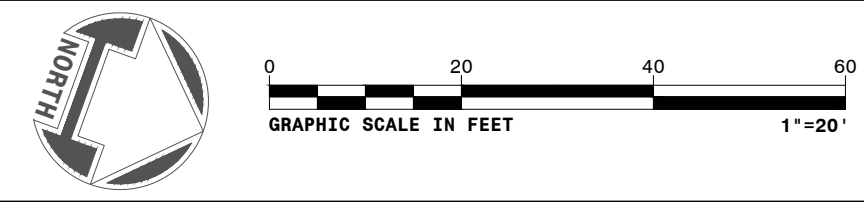
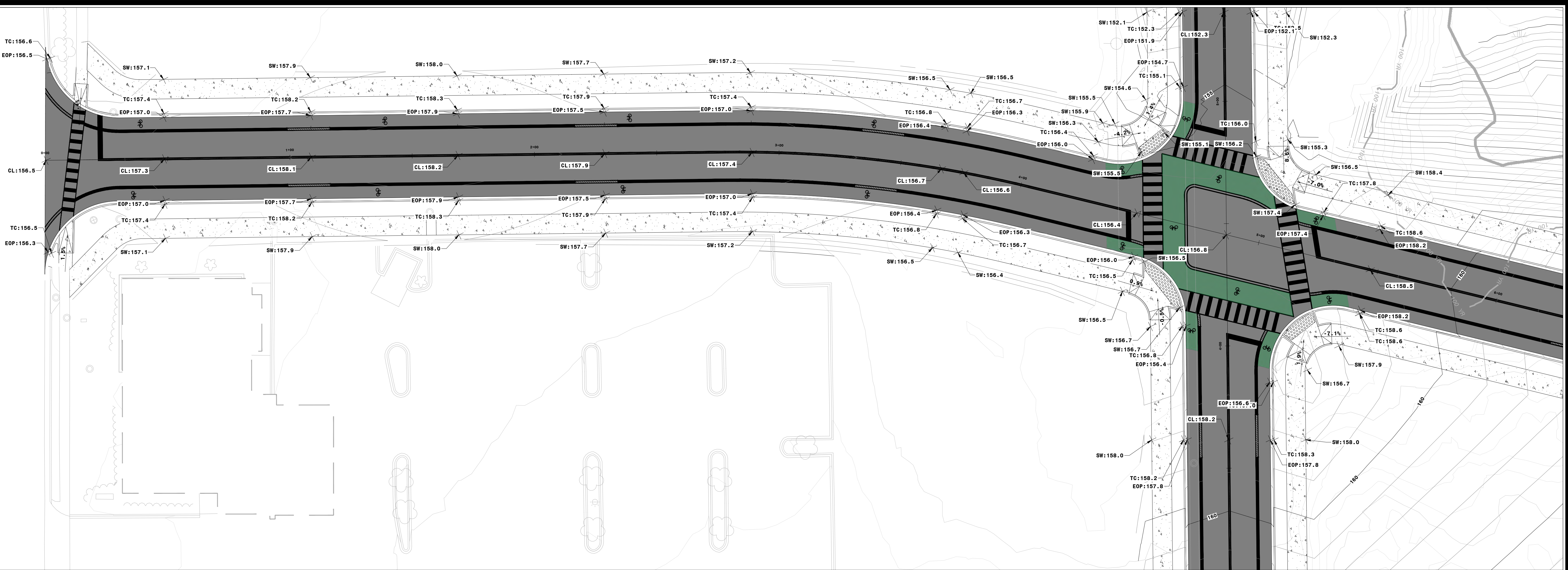
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DWJ	DJF	TB
DATE: 06/11/2025		
JOB NUMBER: 324131023		
SCALE: SEE GRAPHIC SCALE		

**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**
GRADING PLAN INDEX

DRAWING NUMBER:
C-6.0

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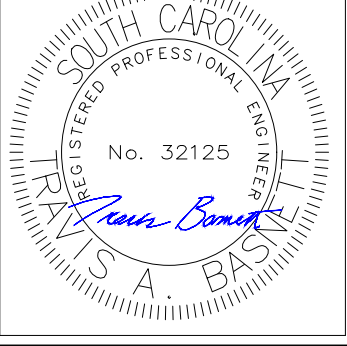


WILLIAMS ST. 1 OF 5
 HORIZONTAL: 1" = 1' || VERTICAL: 1" = 0'

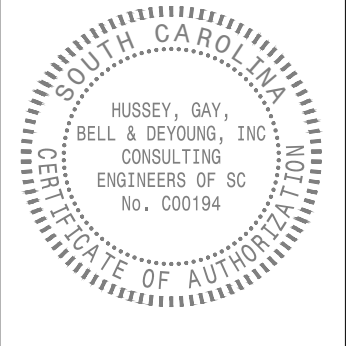
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 1010 Gervais Street, Suite 100
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REGISTERED PROFESSIONAL ENGINEER:



CERTIFICATE OF AUTHORIZATION:



REVISIONS:

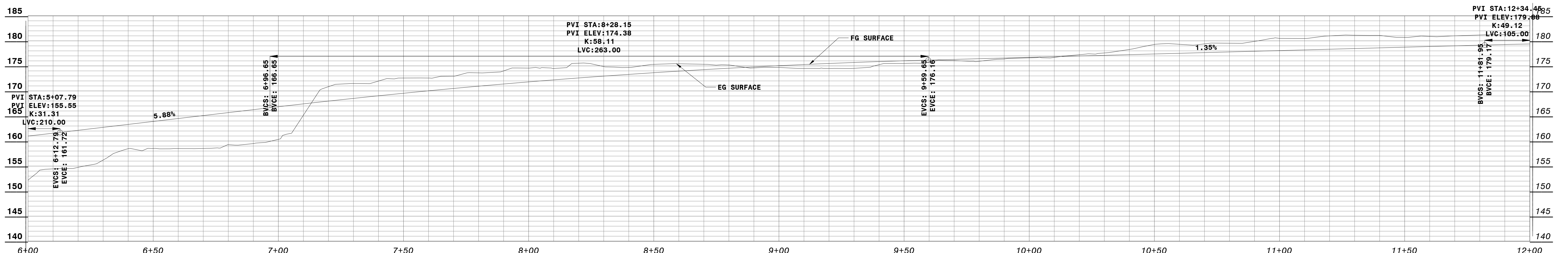
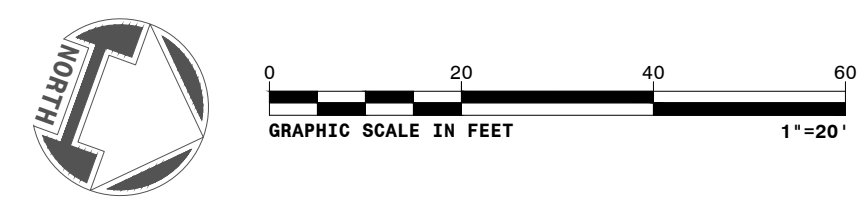
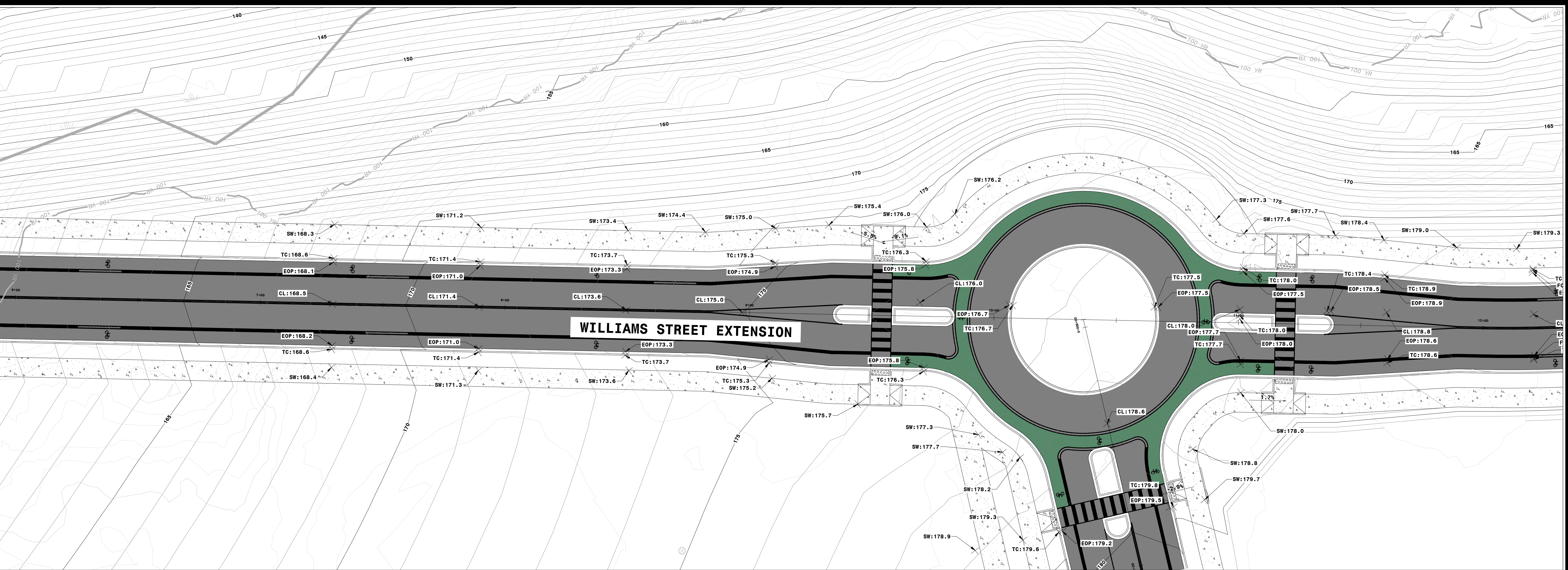
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**WILLIAM STREET EXTENSION
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FOR CITY OF COLUMBIA**
 GRADING P&P

DRAWING NUMBER:
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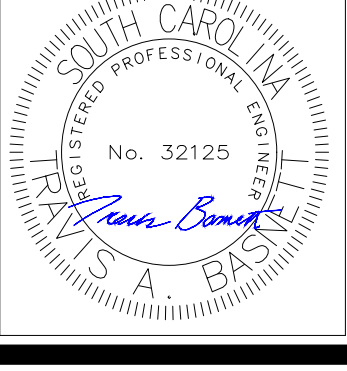
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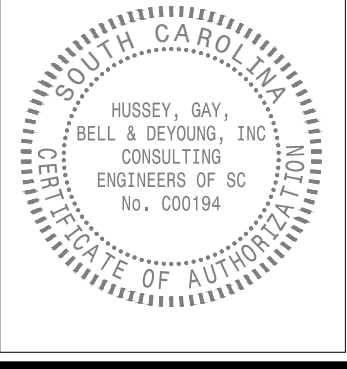
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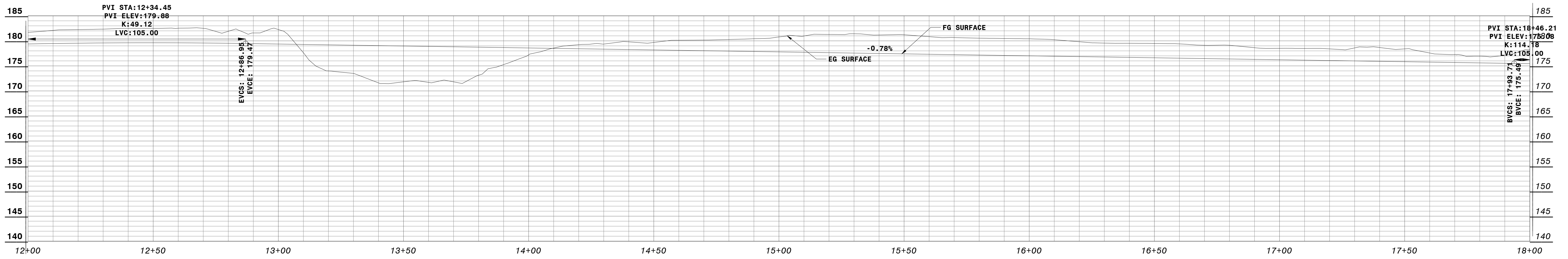
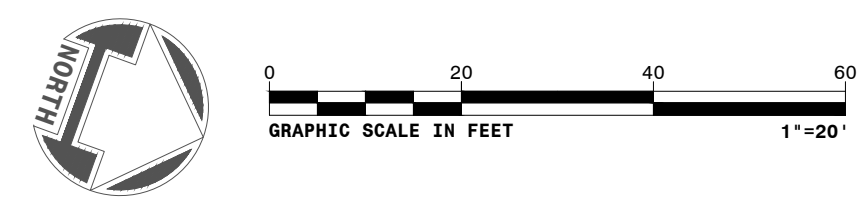
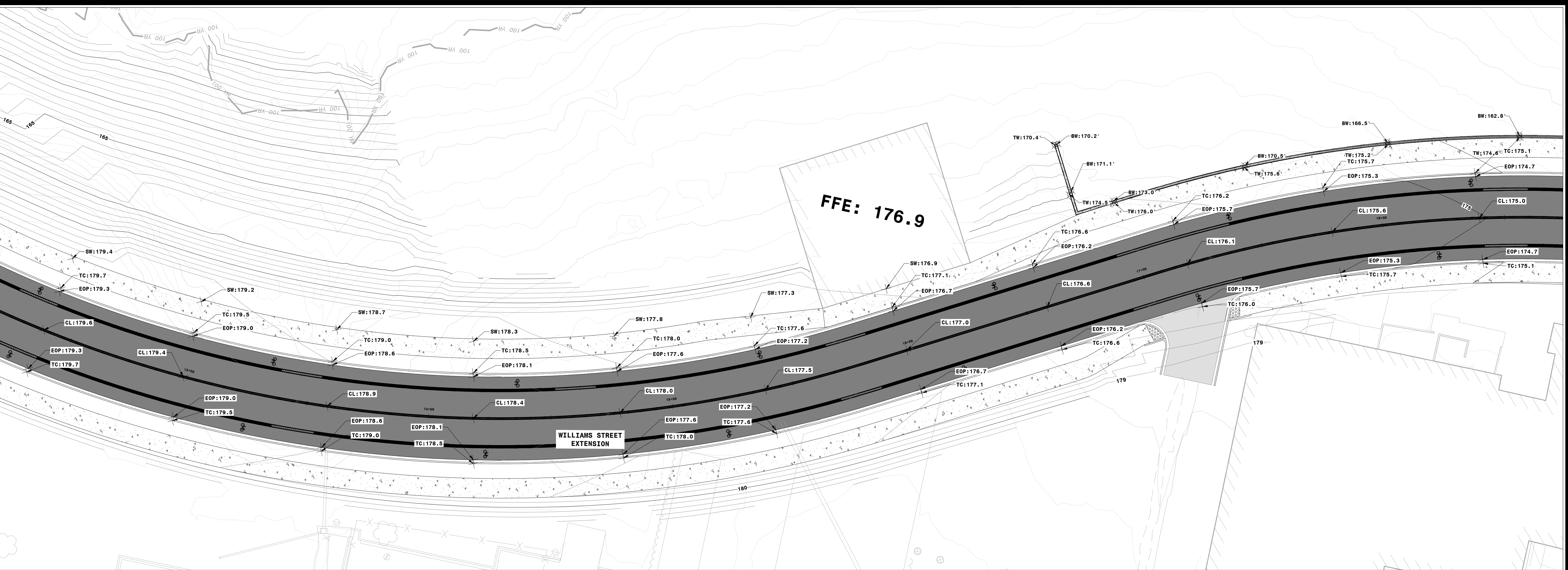
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WILLIAM STREET EXTENSION
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DRAWING NUMBER:
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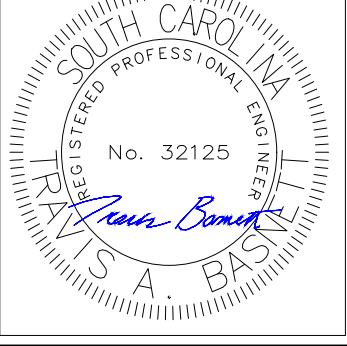


WILLIAMS ST. 3 OF 5
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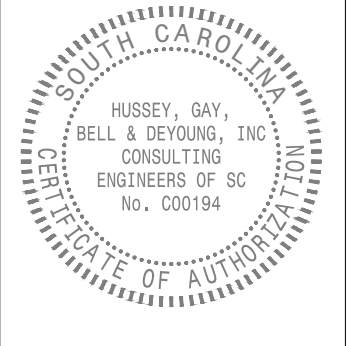
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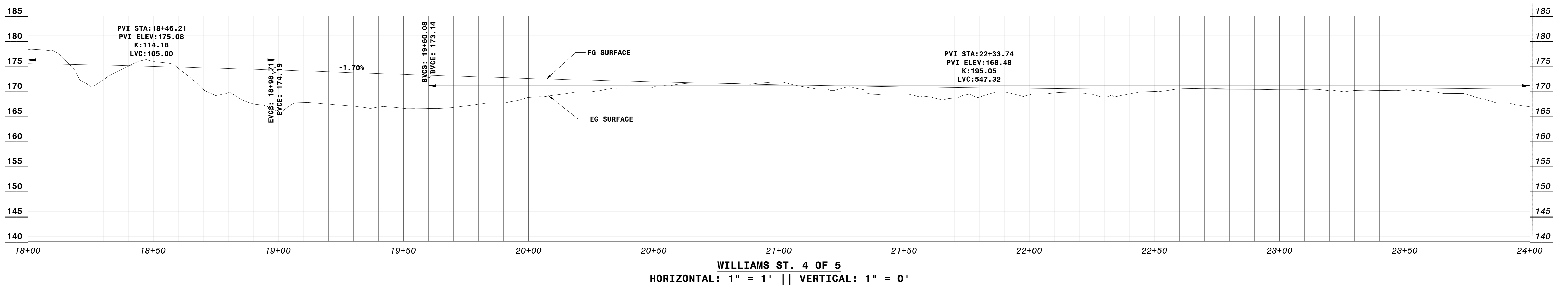
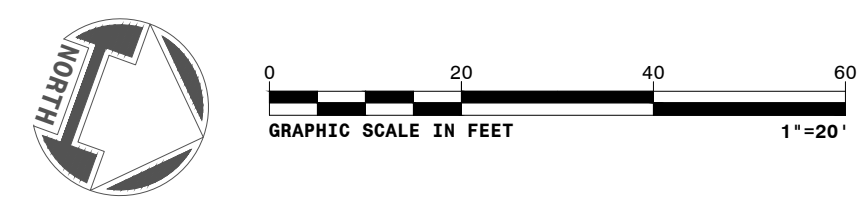
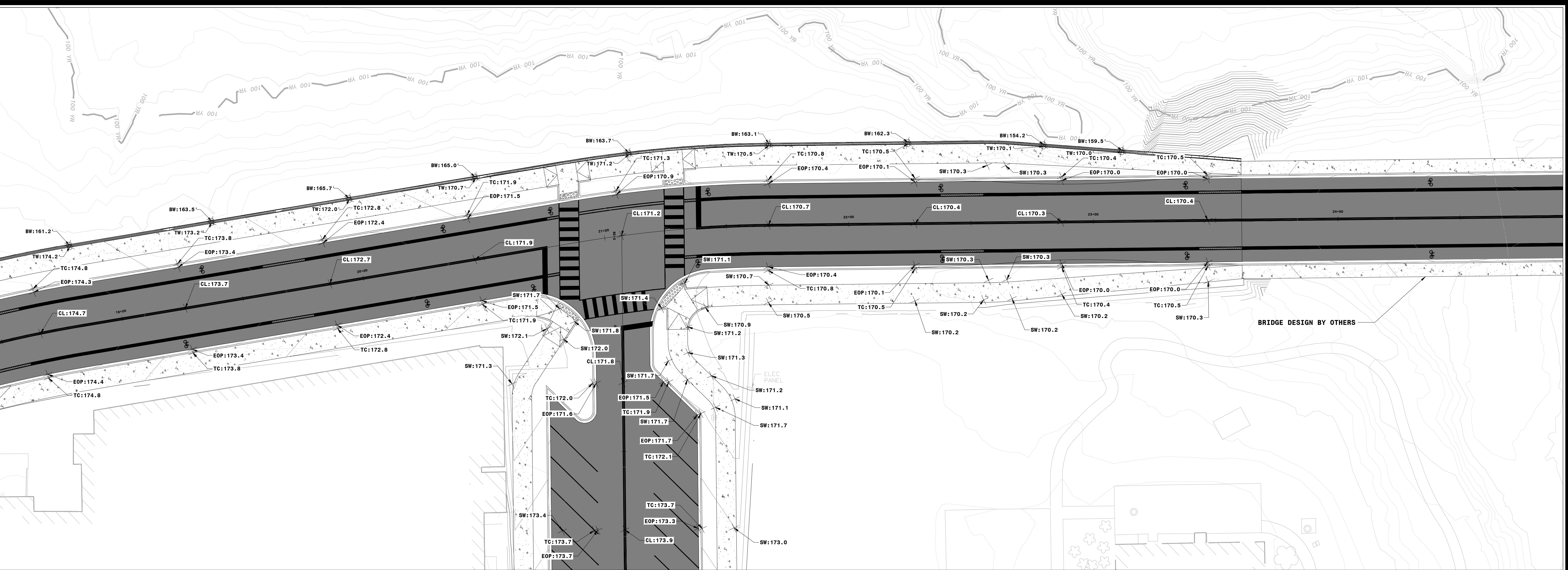
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WILLIAM STREET EXTENSION
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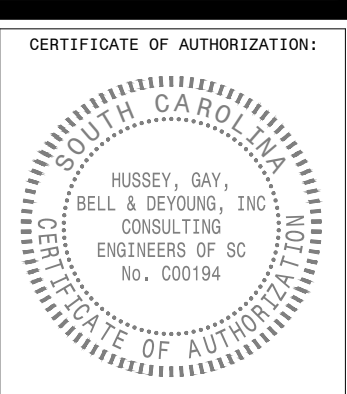
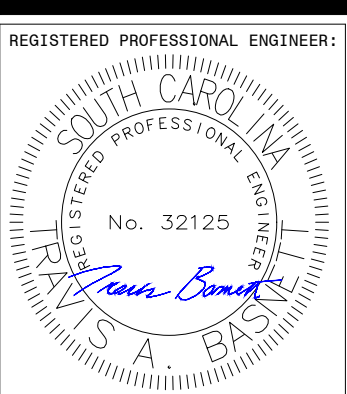
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WILLIAMS ST. 4 OF 5
HORIZONTAL: 1" = 1' || VERTICAL: 1" = 0'

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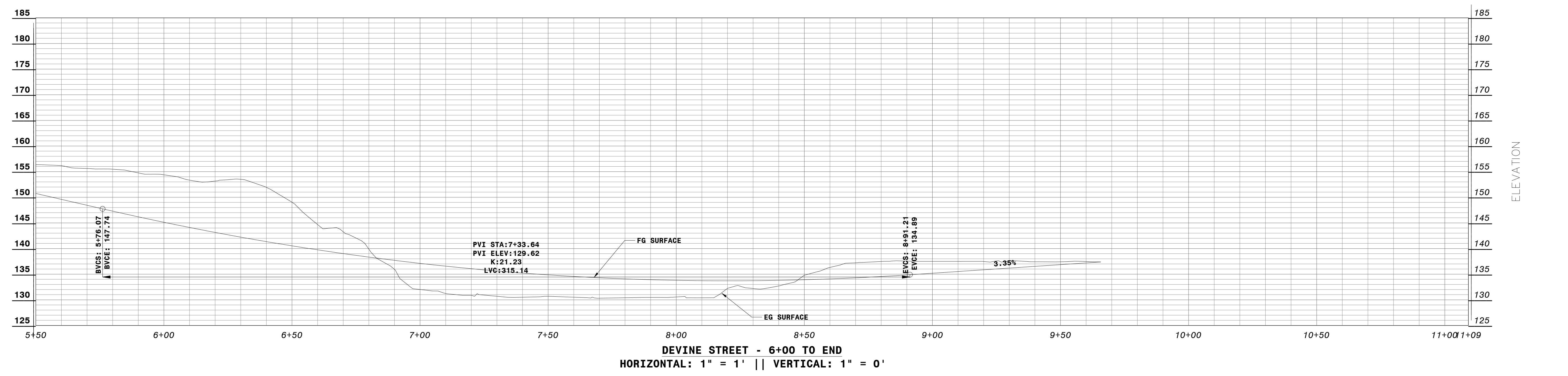
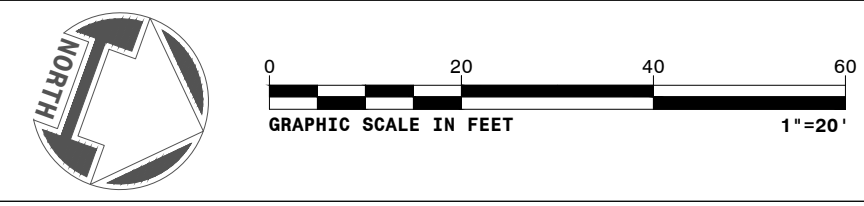
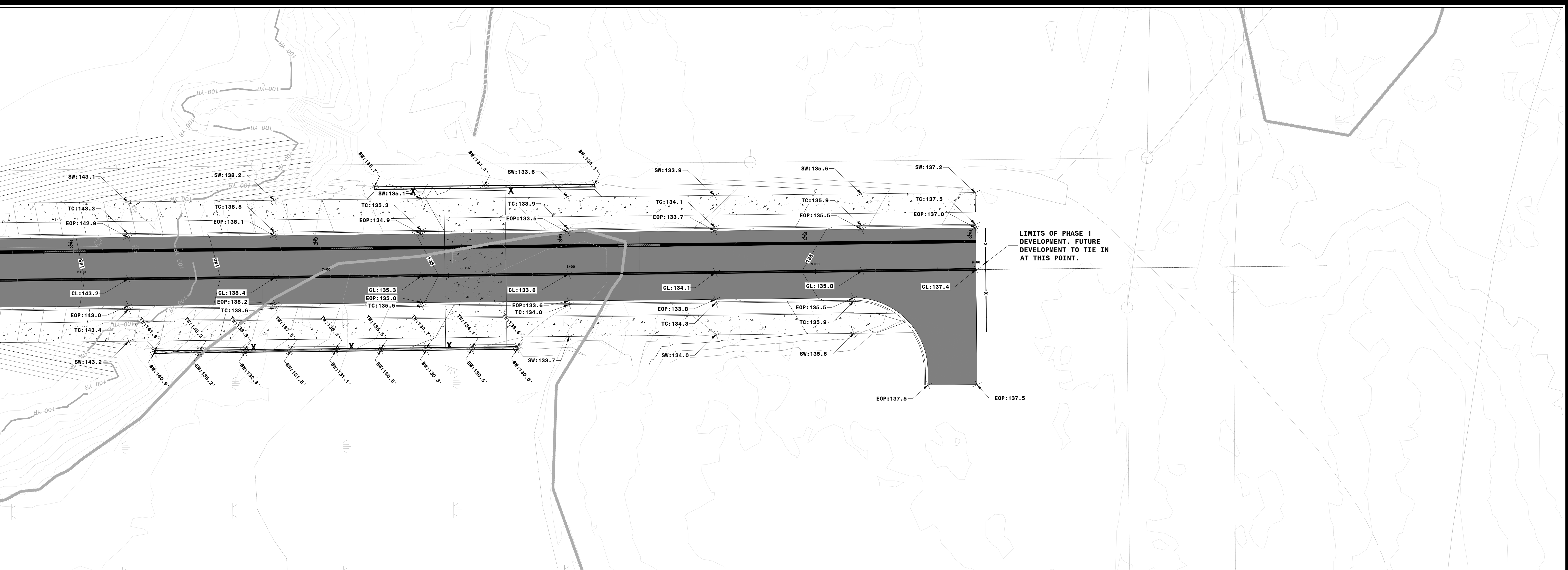
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**WILLIAM STREET EXTENSION
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FOR CITY OF COLUMBIA**
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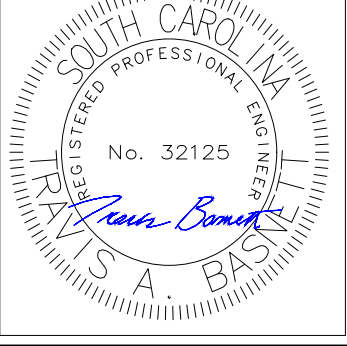
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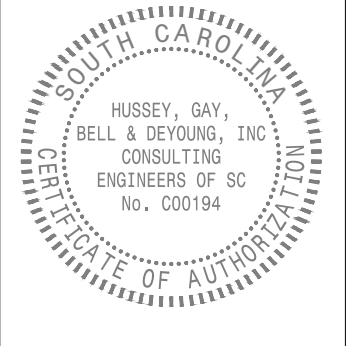
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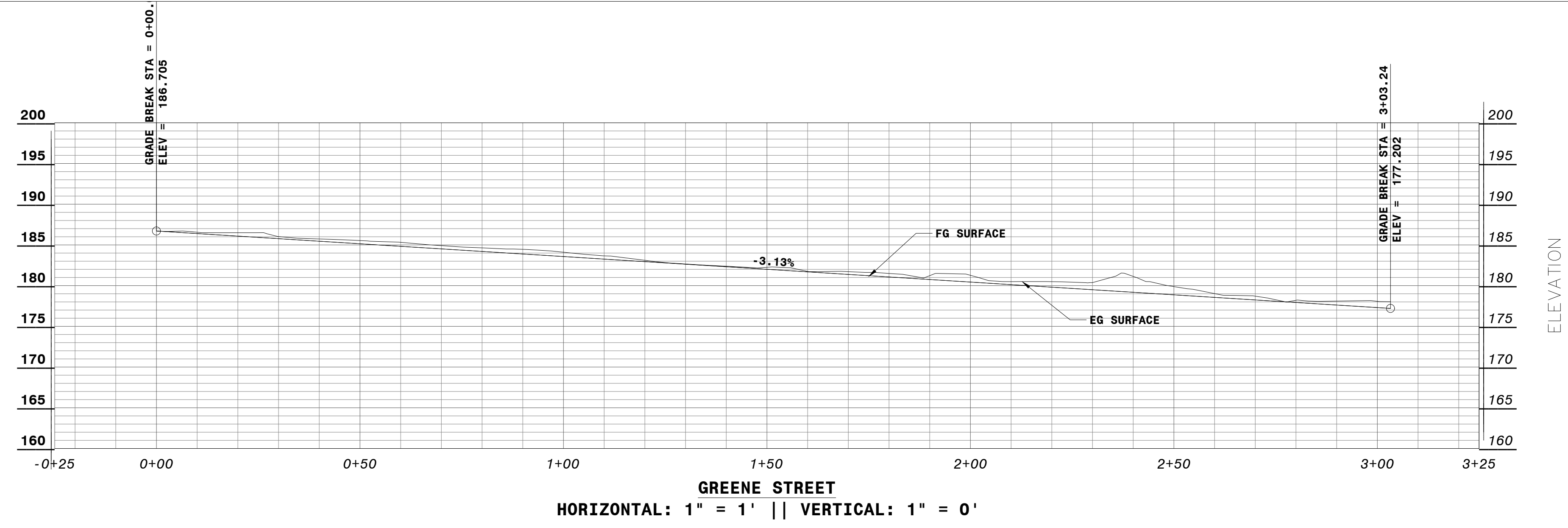
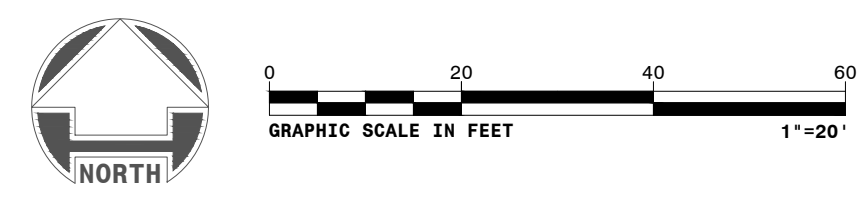
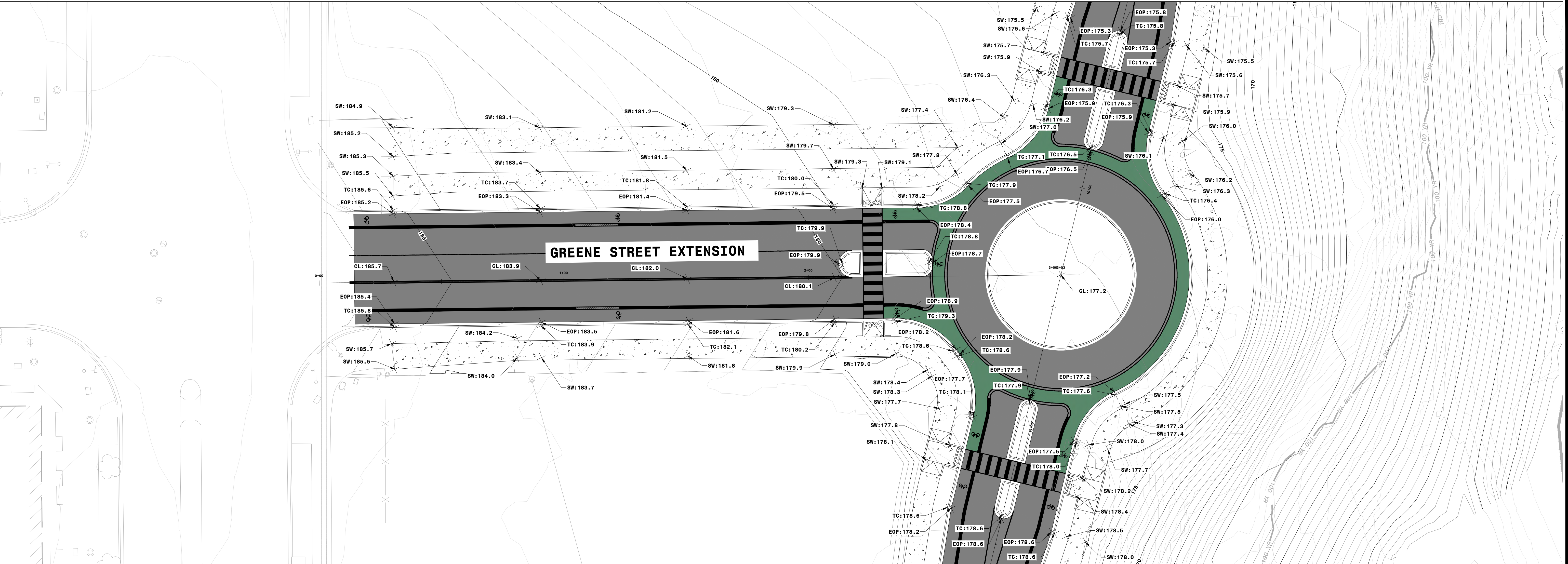
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FOR CITY OF COLUMBIA**
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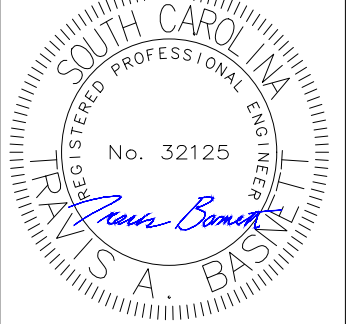
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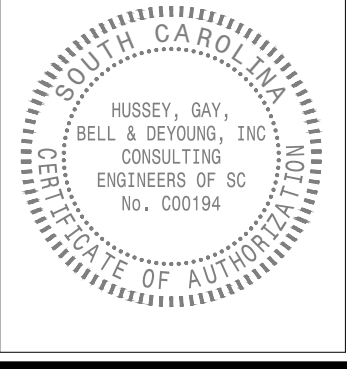
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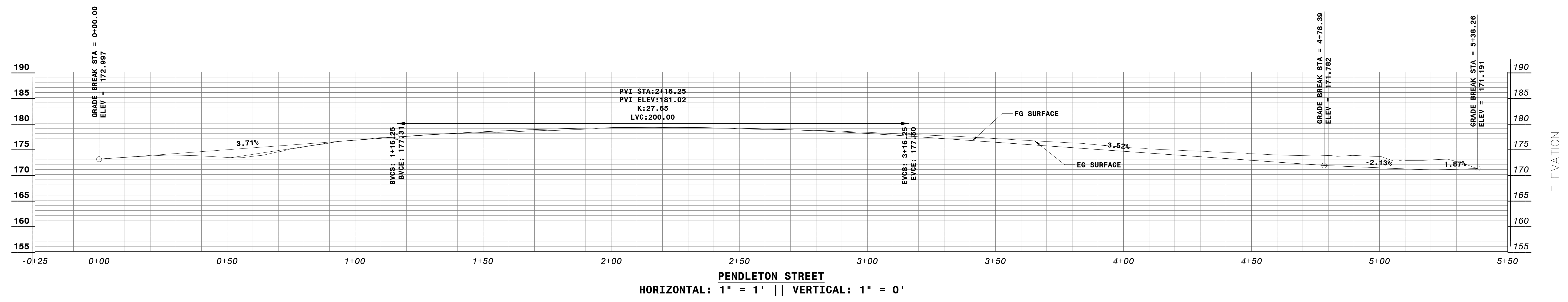
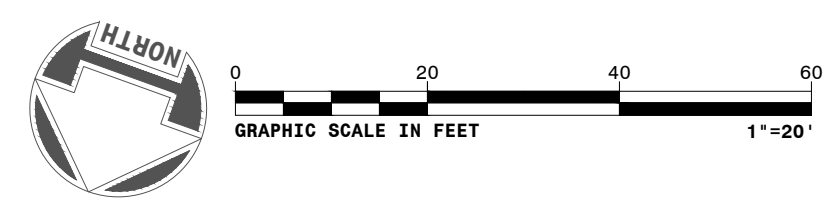
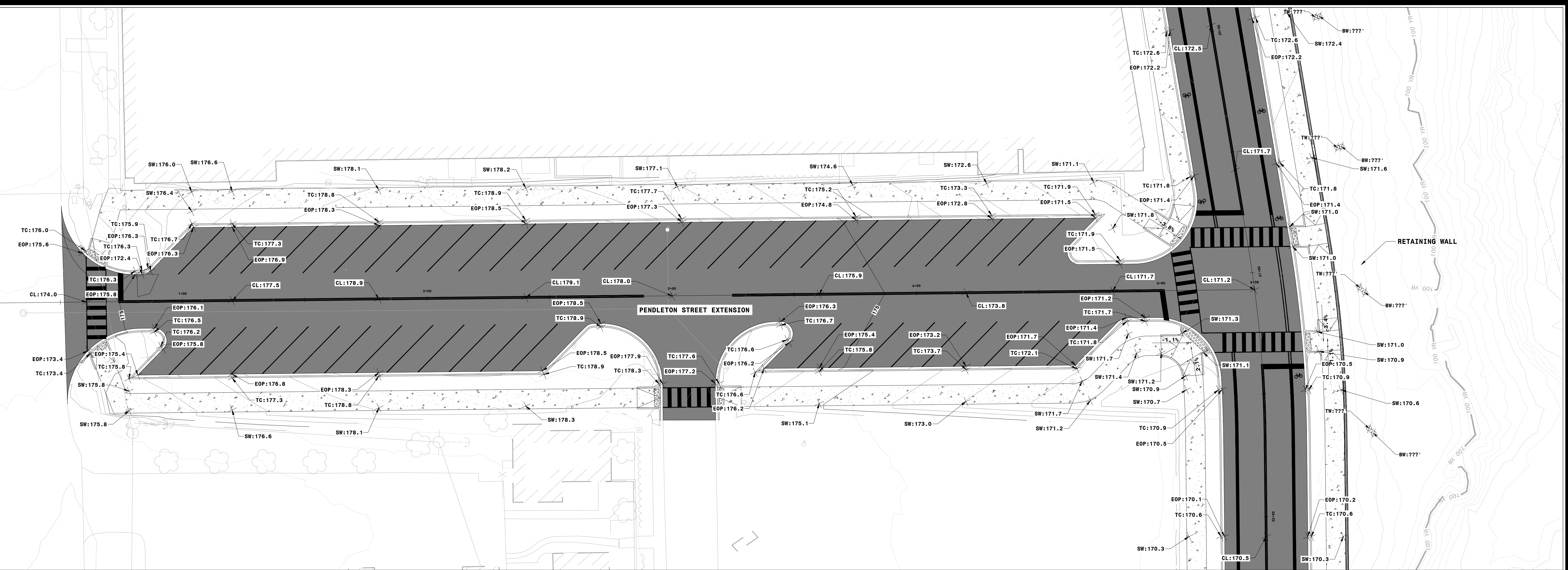
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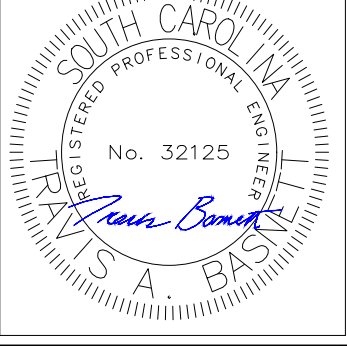
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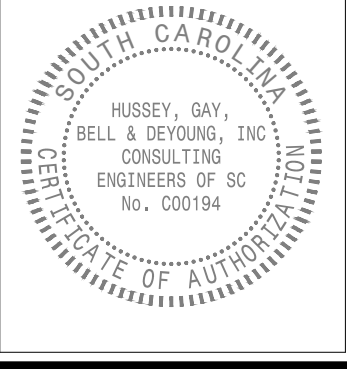
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NO.	DATE	DESCRIPTION

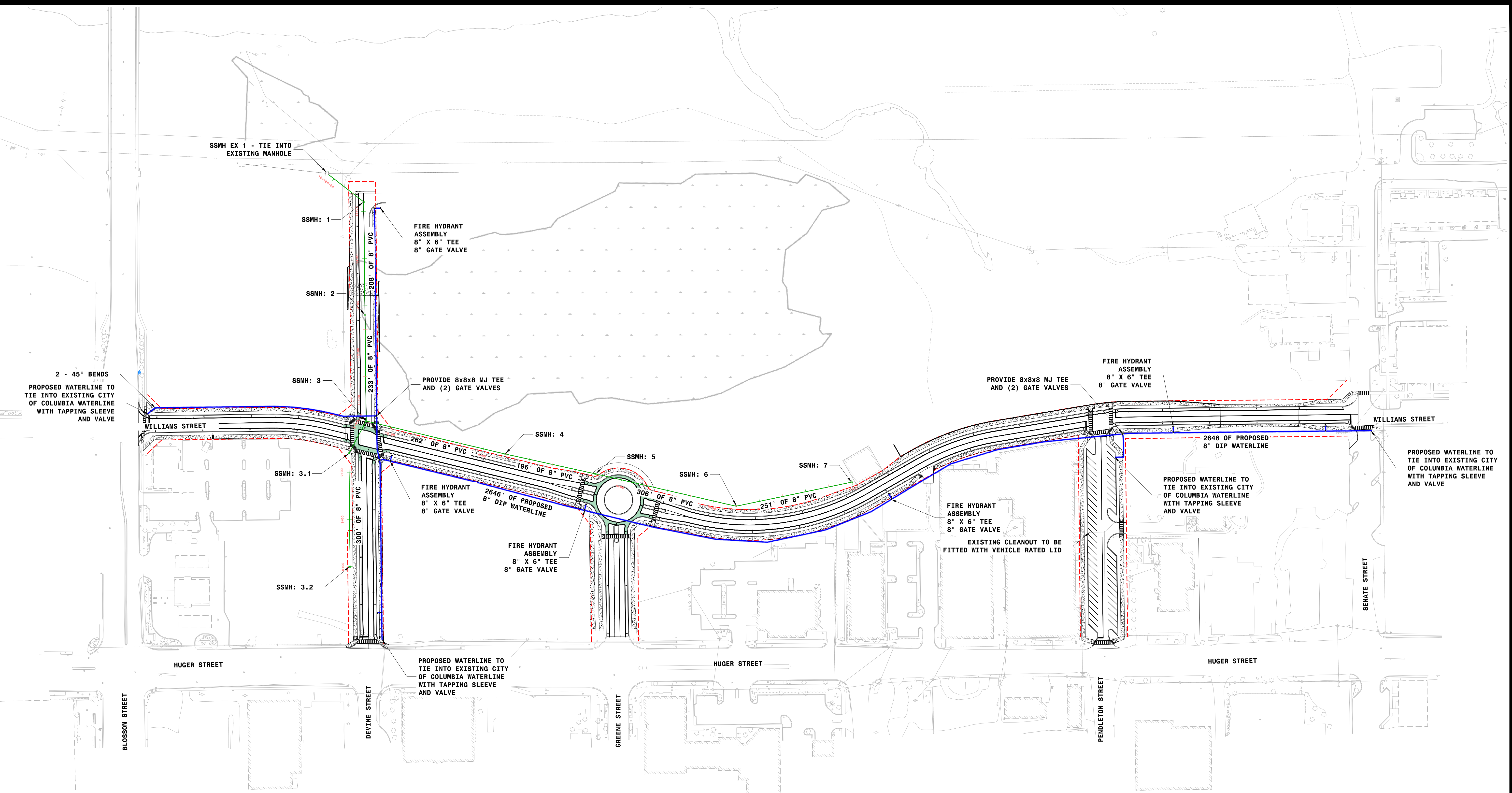
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**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**

GRADING P&P

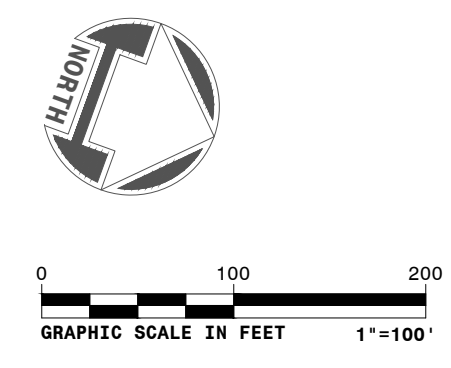
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UTILITY NOTES:

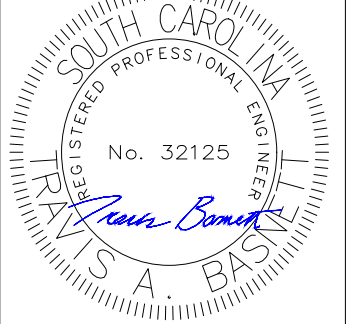
1. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR TO PROVIDE A MIN. OF 3' OF SEPARATION FROM THE EDGE OF PIPE TO EDGE OF PIPE BETWEEN STORM DRAINAGE AND WATER AND 10' OF SEPARATION FROM EDGE OF PIPE TO EDGE OF PIPE BETWEEN WATER AND SEWER LINES.
3. A MINIMUM OF 5' OF HORIZONTAL SEPARATION IS REQUIRED FROM THE EDGE OF SEWER MANHOLES & THE EDGE OF STORM DRAINAGE STRUCTURES.
4. A MINIMUM OF 18" VERTICAL SEPARATION IS REQUIRED BETWEEN ALL SEWER AND STORMWATER UTILITIES.
5. SEWER & STORM CROSSING - ONE (1) FULL LENGTH OF STORM DRAIN MUST BE CENTERED OVER THE SEWER (SO THAT BOTH JOINTS AREA AS FAR AWAY FROM THE SEWER AS POSSIBLE)
6. CONNECT TO EXISTING WATER MAIN. COORDINATE WITH CITY OF COLUMBIA.



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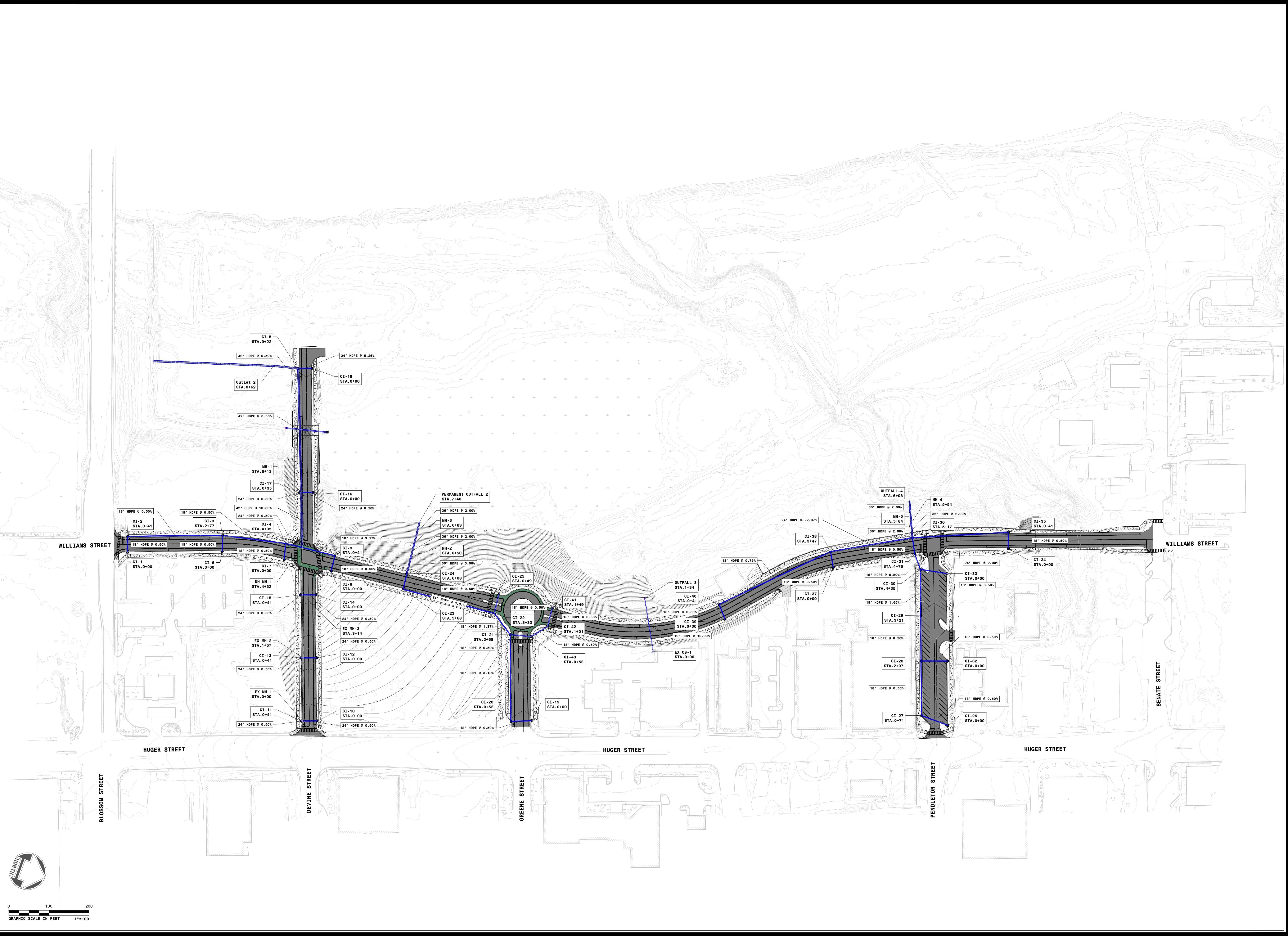
**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**

SEWER AND WATER

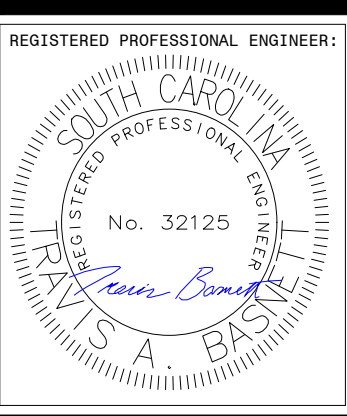
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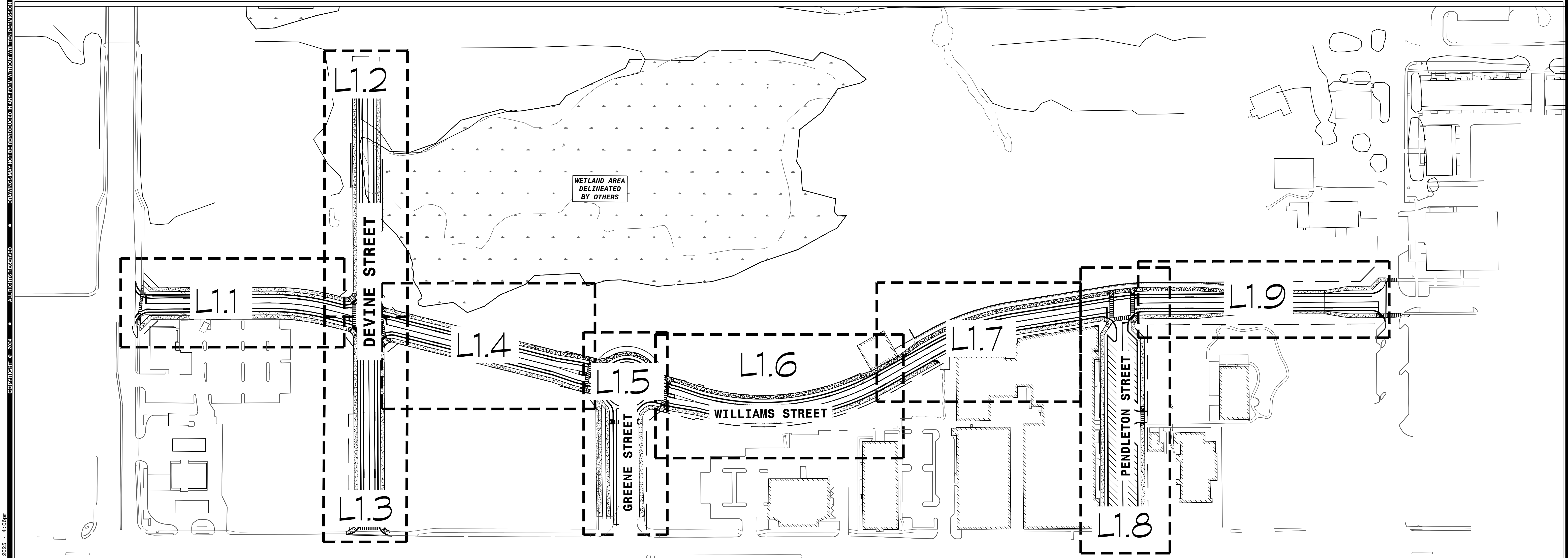
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DATE: 06/11/2025
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SCALE: SEE GRAPHIC SCALE

**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**
STORMWATER OVERALL PLAN

DRAWING NUMBER:
C-8.0



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GENERAL NOTES:

1. SEE SITE PLAN (C5.0-5.9) FOR SITE LABELS, INFORMATION AND DETAILS.
2. ALL DISTURBED AREAS TO BE SEEDD UNLESS OTHERWISE NOTED. SEE SWPPP (C3.1-3.3) FOR DETAILS.
3. CONTRACTOR TO CONTACT CIVIL ENGINEER OR LANDSCAPE ARCHITECT REGARDING ANY SITEWORK MODIFICATIONS FROM THESE PLANS PRIOR TO CHANGES IN THE FIELD.
4. CONTRACTOR IS RESPONSIBLE FOR LANDSCAPE INSTALLATION. MUST CERTIFY THAT ALL PLANT MATERIAL HAS BEEN INSTALLED PER THE APPROVED PLANS. THIS CERTIFICATION MUST BE SUBMITTED PRIOR TO THE APPROVAL OF THE AS-BUILT OR FINAL PLAN.
5. SEE SHEET L2.0 FOR PLANTING AND STAKING DETAILS, NOTES, AND MASTER PLANT SCHEDULE.

PLANTING NOTES

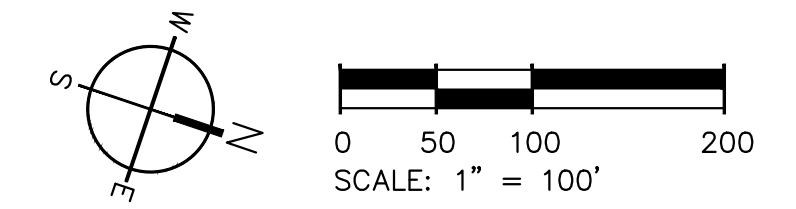
1. QUANTITIES ON THE PLANT SCHEDULE ARE ONLY A GUIDE. ALL QUANTITIES SHALL BE VERIFIED BY THE LANDSCAPE CONTRACTOR ON THE PLANTING PLAN. DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OR CONTINUING WORK.
2. ALL PROPOSED CANOPY TREES SHALL BE A MINIMUM 12-FOOT HEIGHT AND UNDERSTORY TREES SHALL BE A MINIMUM OF 8-FOOT HEIGHT AT TIME OF PLANTING.
3. ALL PROPOSED SHRUBS SHALL BE A MINIMUM OF 36-INCHES IN HEIGHT AT TIME OF PLANTING.
4. ALL AREAS WITHIN LANDSCAPE AREAS WITHOUT SHRUBS, GROUNDCOVER, OR TREES TO BE MULCHED.
5. ALL PLANT MATERIAL IS TO CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK AS ADOPTED BY THE AMERICAN NURSERYMEN & NATIONAL STANDARDS INSTITUTE.

TREE PROTECTION NOTES

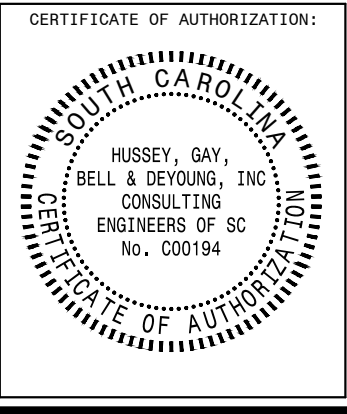
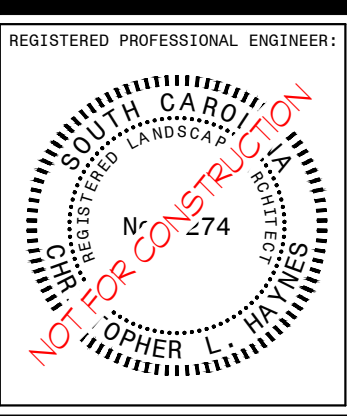
1. TREE PROTECTION FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO OR CONCURRENT WITH ANY CLEARING, GRUBBING OR GRADING.
2. TREE PROTECTION TO BE ENFORCED ACCORDING TO THE CITY OF COLUMBIA AND LEXINGTON COUNTY.
3. MAINTENANCE INSPECTIONS FOR TREES WILL BE PERFORMED AFTER ONE FULL GROWING SEASON FROM THE DATE OF THE FINAL INSPECTION. PROJECT OWNER, AT THE TIME OF THE MAINTENANCE INSPECTION, IS RESPONSIBLE FOR SCHEDULING THIS INSPECTION.

IRRIGATION NOTES

1. LANDSCAPE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF PROPOSED IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT FOR ACCEPTANCE. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, RAIN SENSOR(S), AND CLOCK.
2. ALL NECESSARY PERMITS MUST BE OBTAINED BY THE LANDSCAPE CONTRACTOR FOR AUTOMATIC IRRIGATION SYSTEMS. ALL COMPONENTS AND SERVICE SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
3. LOCATION OF METERS AND CONTROL PANELS FOR IRRIGATION MUST BE APPROVED BY OWNER (OR OWNER'S REPRESENTATIVE) PRIOR TO INSTALLATION. COORDINATE WATER METER REQUIREMENTS WITH CIVIL ENGINEER.



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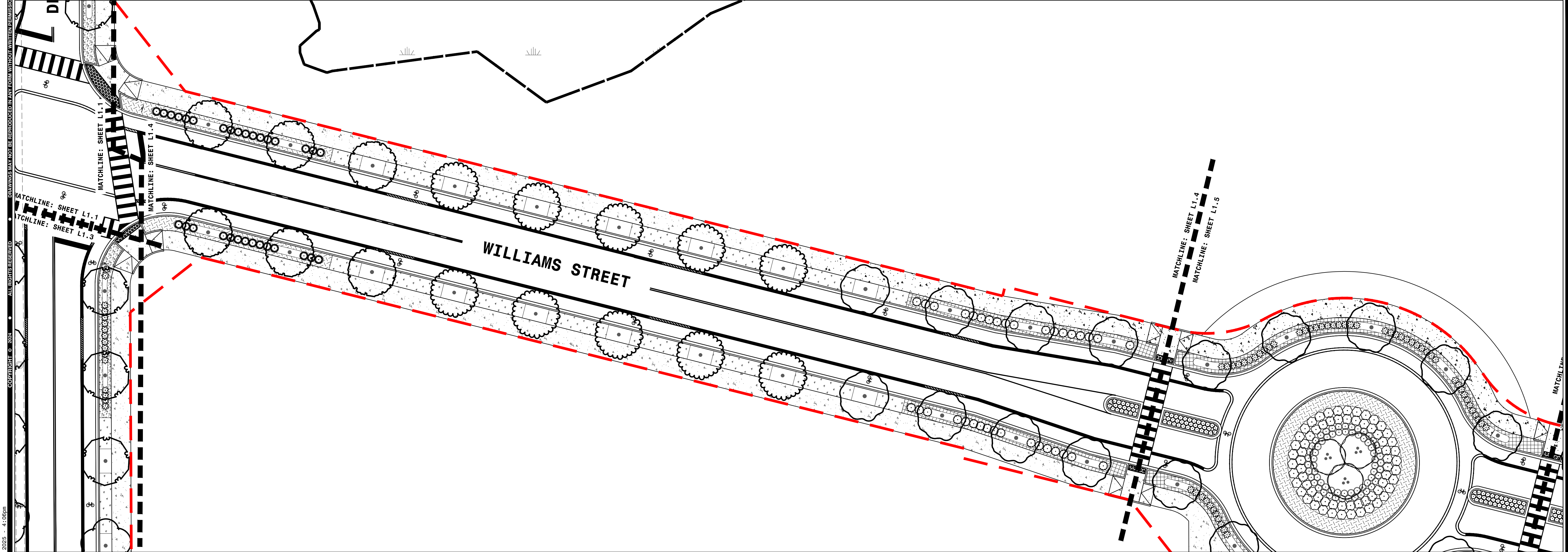


REVISIONS:

DESIGNED:	DRAWN:	CHECKED:
NL	NL	CH
DATE:		
05/01/2025		
JOB NUMBER:		
324131023		
SCALE:		
SEE GRAPHIC SCALE		

WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA
 LANDSCAPE PLAN - SHEET KEY

DRAWING NUMBER:
L1.0



GENERAL NOTES:

- SEE SITE PLAN (CS 0-5.9) FOR SITE LABELS, INFORMATION AND DETAILS.
- ALL DISTURBED AREAS TO BE SEEDED UNLESS OTHERWISE NOTED. SEE SWPPP (C3.1-3.3) FOR DETAILS.
- CONTRACTOR TO CONTACT CIVIL ENGINEER OR LANDSCAPE ARCHITECT REGARDING ANY SITEWORK MODIFICATIONS FROM THESE PLANS PRIOR TO CHANGES IN THE FIELD.
- CONTRACTOR IS RESPONSIBLE FOR LANDSCAPE INSTALLATION. MUST CERTIFY THAT ALL PLANT MATERIAL HAS BEEN INSTALLED PER THE APPROVED PLANS. THIS CERTIFICATION MUST BE SUBMITTED PRIOR TO THE APPROVAL OF THE AS-BUILT OR FINAL PLAN.
- SEE SHEET L2.0 FOR PLANTING AND STAKING DETAILS, NOTES, AND MASTER PLANT SCHEDULE.

PLANTING NOTES

- QUANTITIES ON THE PLANT SCHEDULE ARE ONLY A GUIDE. ALL QUANTITIES SHALL BE VERIFIED BY THE LANDSCAPE CONTRACTOR ON THE PLANTING PLAN. DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OR CONTINUING WORK.
- ALL PROPOSED CANOPY TREES SHALL BE A MINIMUM 12-FOOT HEIGHT AND UNDERSTORY TREES SHALL BE A MINIMUM OF 8-FOOT HEIGHT AT TIME OF PLANTING.
- ALL PROPOSED SHRUBS SHALL BE A MINIMUM OF 36-INCHES IN HEIGHT AT TIME OF PLANTING.
- ALL AREAS WITHIN LANDSCAPE AREAS WITHOUT SHRUBS, GROUNDCOVER, OR TREES TO BE MULCHED.
- ALL PLANT MATERIAL IS TO CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK AS ADOPTED BY THE AMERICAN NURSERYMEN & NATIONAL STANDARDS INSTITUTE.

TREE PROTECTION NOTES

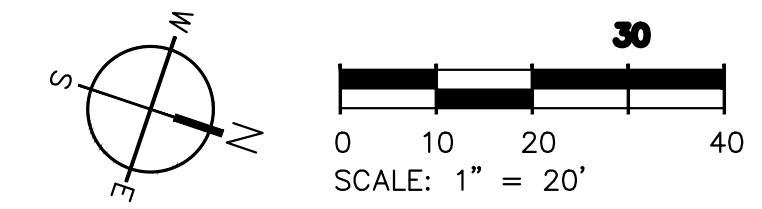
- TREE PROTECTION FENCING MUST BE INSTALLED AND INSPECTED PRIOR TO OR CONCURRENT WITH ANY CLEARING, GRUBBING OR GRADING.
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IRRIGATION NOTES

- LANDSCAPE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF PROPOSED IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT FOR ACCEPTANCE. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, RAIN SENSOR(S), AND CLOCK.
- ALL NECESSARY PERMITS MUST BE OBTAINED BY THE LANDSCAPE CONTRACTOR FOR AUTOMATIC IRRIGATION SYSTEMS. ALL COMPONENTS AND SERVICE SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
- LOCATION OF METERS AND CONTROL PANELS FOR IRRIGATION MUST BE APPROVED BY OWNER (OR OWNER'S REPRESENTATIVE) PRIOR TO INSTALLATION. COORDINATE WATER METER REQUIREMENTS WITH CIVIL ENGINEER.

PLANT SCHEDULE 4

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
TREES								
	QFAL	9	Quercus falcata / Southern Red Oak	2.5' Cal.	14'-16'	4'-6'	35' O.C.	
	QLYR	8	Quercus lyrata / Overcup Oak	2.5' Cal.	14'-16'	4'-6'	35' O.C.	
	QNUT	10	Quercus nuttallii / Nuttall Oak	2.5' Cal.	14'-16'	4'-6'	35' O.C.	
SHRUBS								
	LLOB	31	Lomandra longifolia 'Breeze' / Breezegrass	3 gal.	18'-24'	18'-24'	36' O.C.	
	ROSM	19	Rosa x 'Meldirford' / Coral Drift® Groundcover Rose	3 gal.	12'-18'	12'-18'	24' O.C.	
	RTUS	35	Rosmarinus officinalis 'Tuscan Blue' / Tuscan Blue Rosemary	3 gal.	18'-24'	18'-24'	48' O.C.	
GROUND COVERS								
	AREP	1,207	Ajuga reptans / Carpet Bugle	1 gal.			9' O.C.	
	LMUS	397	Liriope muscari 'Super Blue' / Super Blue Liriope	3 gal.	8'-12'	8'-12'	15' O.C.	
	ZOME	2,097 sf	Zoysia japonica Meyer / Meyer Zoysia Grass	Sod				



HUSSEY GAY BELL
Established 1958

Hussey, Gay, Bell & DeYoung, Inc.,
Consulting Engineers of SC
1010 Gervais Street, Suite 100
Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER:



CERTIFICATE OF AUTHORIZATION:



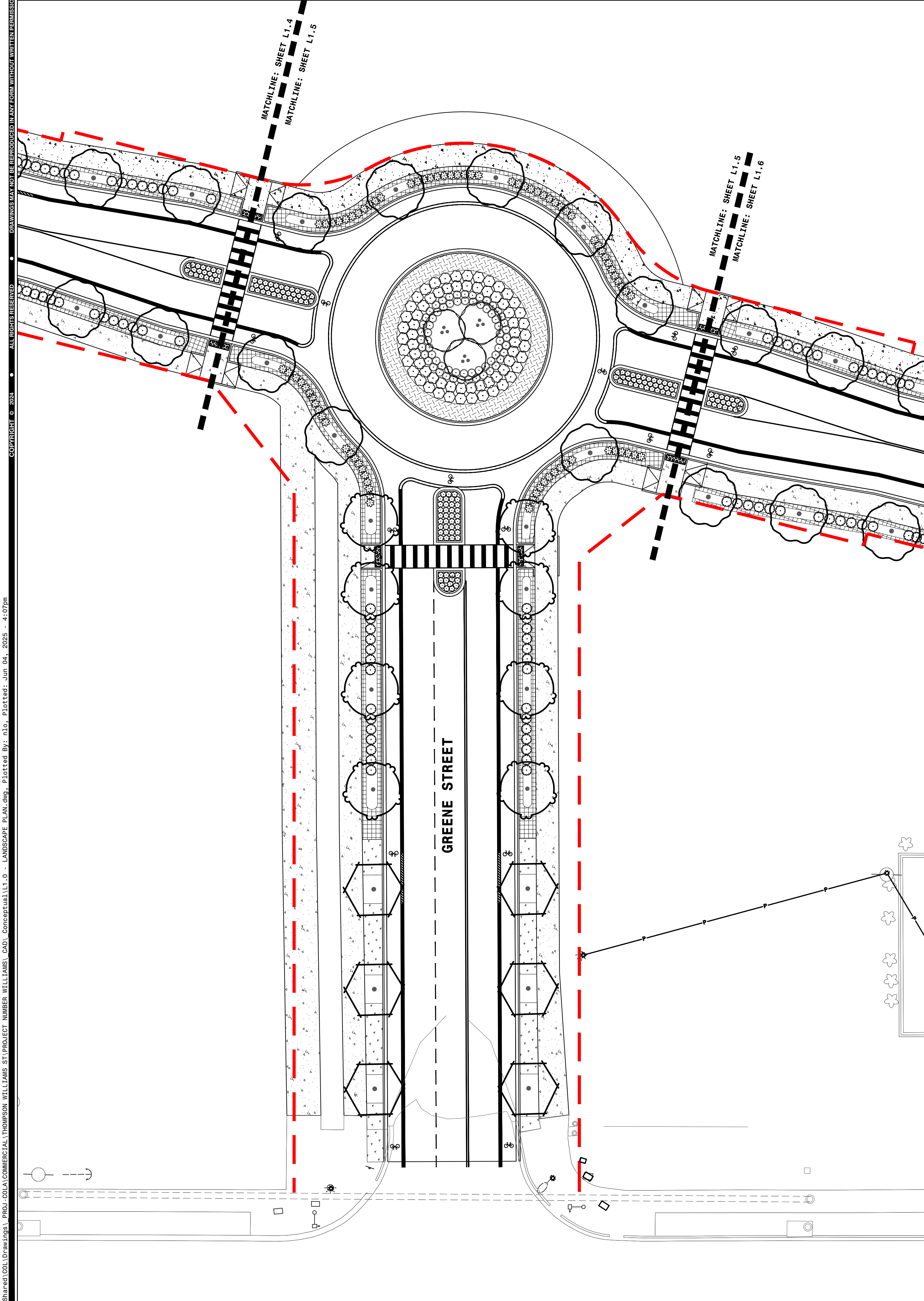
REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED:	DRAWN:	CHECKED:
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DATE: 05/01/2025		
JOB NUMBER: 324131023		
SCALE: SEE GRAPHIC SCALE		

WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA
LANDSCAPE PLAN

DRAWING NUMBER:
L1.4



GENERAL NOTES:

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- ALL DISTURBED AREAS TO BE SEED OR MULCH UNLESS OTHERWISE NOTED. SEE SWPPP (C.1-3.3) FOR DETAILS.
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TREE PROTECTION NOTES

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PLANT SCHEDULE 5

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
TREES								
	LIND	3	Lagerstroemia indica / Crape Myrtle	B&B or CONT.	10-12		As Shown	Multi-stem
	NSYL	6	Nyssa sylvatica / Black Gum	3" Cal.	14-16	4-6	As Shown	
	GLYR	8	Quercus lyrata / Overcup Oak	2.5" Cal.	14-16	4-6	35 O.C.	
	UAME	8	Ulmus americana / American Elm	2.5" Cal.	14-16	4-6	35 O.C.	
SHRUBS								
	AAFA	81	Agapanthus africanus 'Alba' / African Lily	3 gal.	18"-24"	18"-24"	36" O.C.	
	CALH	66	Clethra alnifolia Hummingbird / Hummingbird Summersweet	3 gal.	18"-24"	18"-24"	48" O.C.	
	ROSM	116	Rosa x Meidrifora / Coral Drift® Groundcover Rose	3 gal.	12"-18"	12"-18"	24" O.C.	
	RTUS	28	Rosmarinus officinalis 'Tuscan Blue' / Tuscan Blue Rosemary	3 gal.	18"-24"	18"-24"	48" O.C.	
	TDWF	65	Tripsacum floridanum / Dwarf Fakahatchee	3 gal.	18"-24"	12"-18"	36" O.C.	
GROUND COVERS								
	AREP	3,297	Ajuga reptans / Carpet Bugle	1 gal.				9" O.C.
	LMUS	665	Liriope muscari Super Blue / Super Blue Lilyturf	3 gal.	8"-12"	8"-12"		15" O.C.
	ZOME	942 sf	Zoysia japonica Meyer / Meyer Zoysia Grass	Sod				

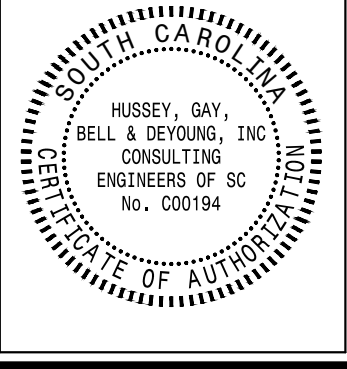
HUSSEY GAY BELL
Established 1958

Hussey, Gay, Bell & DeYoung, Inc.,
Consulting Engineers of SC,
1010 Gervais Street, Suite 100
Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER:



CERTIFICATE OF AUTHORIZATION:



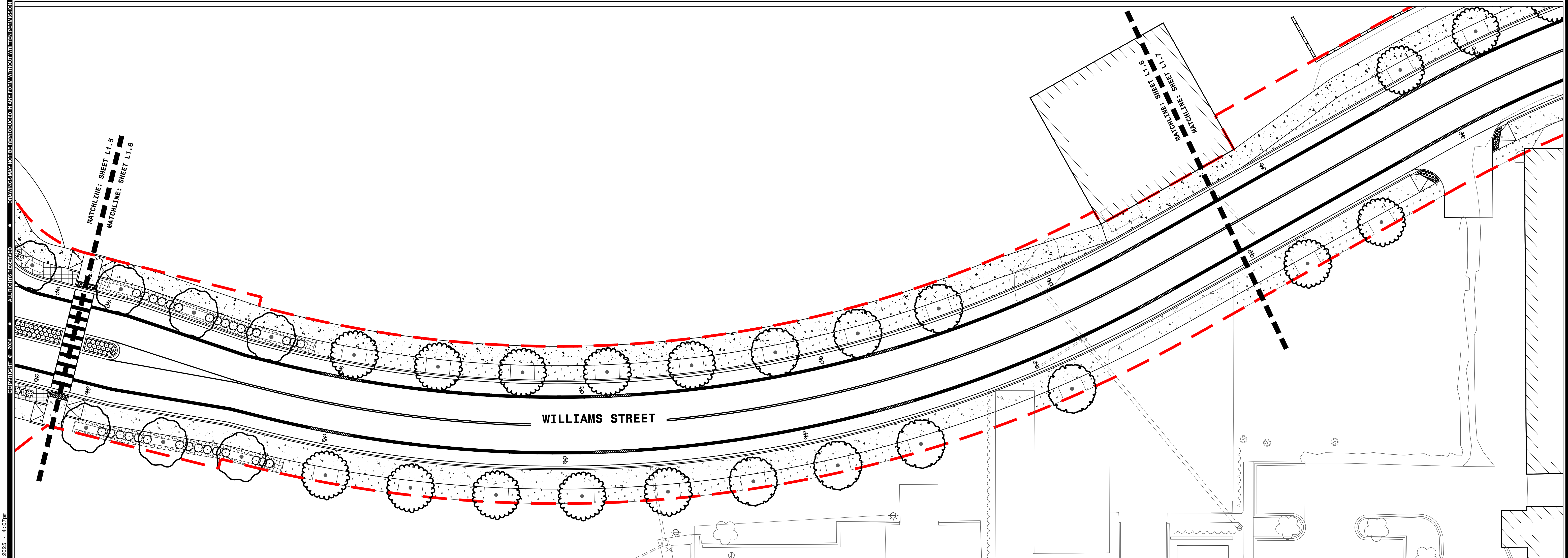
REVISIONS:

DESIGNED:	DRAWN:	CHECKED:
NL	NL	CH
DATE: 05/01/2025		
JOB NUMBER: 324131023		
SCALE: SEE GRAPHIC SCALE		

**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**
LANDSCAPE PLAN

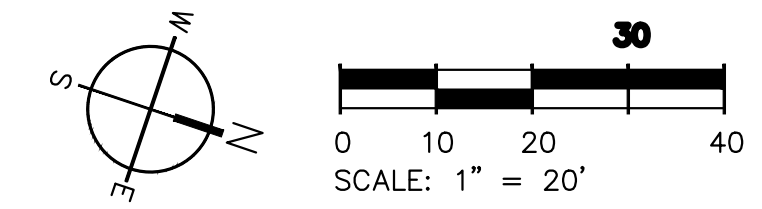
DRAWING NUMBER:
L1.5

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PLANT SCHEDULE G								
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
TREES								
	QFAL	7	<i>Quercus falcata</i> / Southern Red Oak	2.5' Cal.	14'-16'	4'-6'	35' O.C.	
	QLYR	6	<i>Quercus lyrata</i> / Overcup Oak	2.5' Cal.	14'-16'	4'-6'	35' O.C.	
	QNTU	10	<i>Quercus nuttallii</i> / Nuttall Oak	2.5' Cal.	14'-16'	4'-6'	35' O.C.	
SHRUBS								
	ROSM	19	<i>Rosa x 'Meldirford'</i> / Coral Drift® Groundcover Rose	3 gal.	12'-18"	12'-18"	24' O.C.	
	RTUS	31	<i>Rosmarinus officinalis</i> 'Tuscan Blue' / Tuscan Blue Rosemary	3 gal.	18'-24"	18'-24"	48' O.C.	
GROUND COVERS								
	AREP	1,074	<i>Ajuga reptans</i> / Carpet Bugle	1 gal.			9' O.C.	
	ZOME	2,889 sf	<i>Zoysia japonica</i> Meyer / Meyer Zoysia Grass	Sod				



HUSSEY GAY BELL
Established 1958

Hussey, Gay, Bell & DeYoung, Inc.,
Consulting Engineers of SC
1010 Gervais Street, Suite 100
Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER:
HUSSEY, GAY, BELL & DEYOUNG, INC.
CONSULTING ENGINEERS OF SC
No. 000194



REVISIONS:

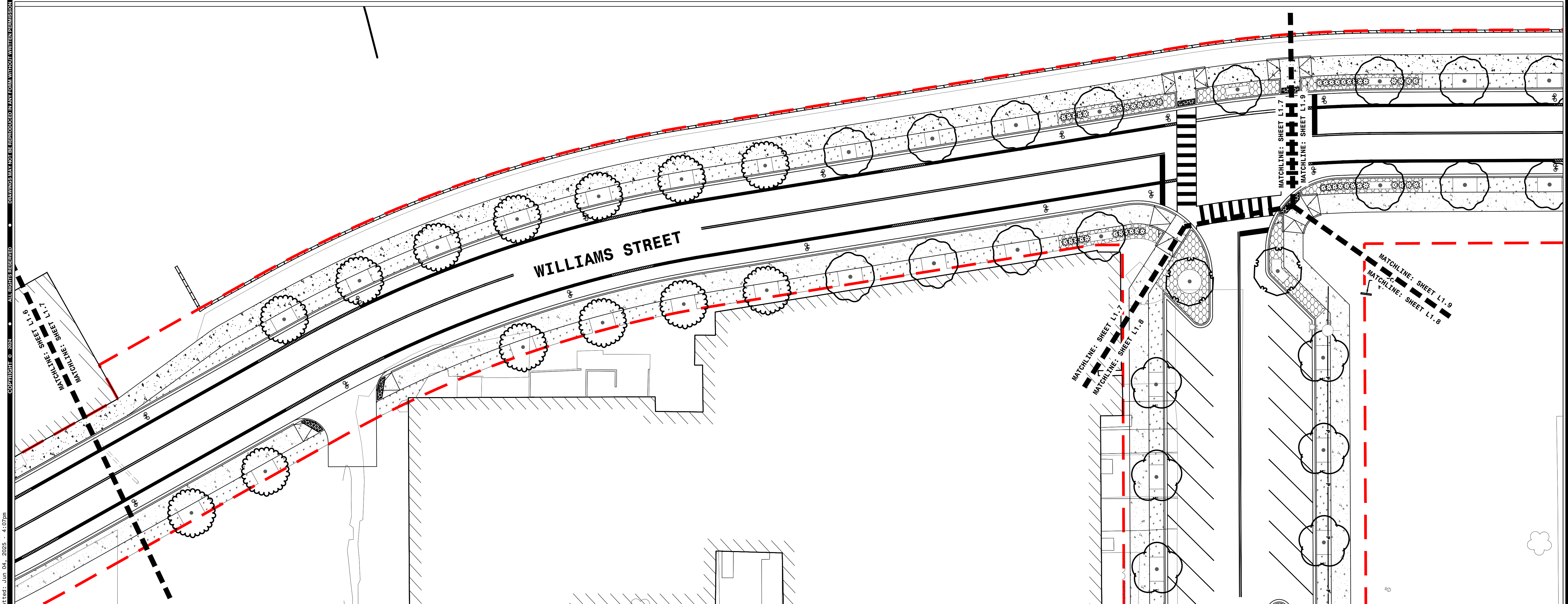
DESIGNED: NL DRAWN: NL CHECKED: CH
DATE: 05/01/2025
JOB NUMBER: 324131023
SCALE: SEE GRAPHIC SCALE

**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**

LANDSCAPE PLAN

DRAWING NUMBER:
L1.6

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PLANT SCHEDULE 7

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
TREES								
	QLYR	9	Quercus lyrata / Overcup Oak	2.5' Cal.	14'-16'	4'-6'	35' O.C.	
	QNUT	13	Quercus nuttallii / Nuttall Oak	2.5' Cal.	14'-16'	4'-6'	35' O.C.	
SHRUBS								
	AAFR	24	Agapanthus africanus / African Lily	3 gal.	18'-24'	18'-24'	36' O.C.	
GROUND COVERS								
	ISEM	500	Iberis sempervirens / Evergreen Candytuft	3 gal.	6'-12'	6'-12'	12' O.C.	
	ZOME	3,480 sf	Zoysia japonica 'Meyer' / Meyer Zoysia Grass	Sod				



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Established 1958

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Consulting Engineers of SC
1010 Gervais Street, Suite 100
Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER

STATE OF SOUTH CAROLINA
No. 33926
EXPIRES 12/31/2025
TOPHER L. HUSSEY

CERTIFICATE OF AUTHORIZATION

STATE OF SOUTH CAROLINA
HUSSEY, GAY, BELL & DEYOUNG, INC.
CONSULTING ENGINEERS OF SC
No. 000194
TOPHER L. HUSSEY

CALL IT BEFORE YOU DIG
811
SAFE DIGGING PARTNER

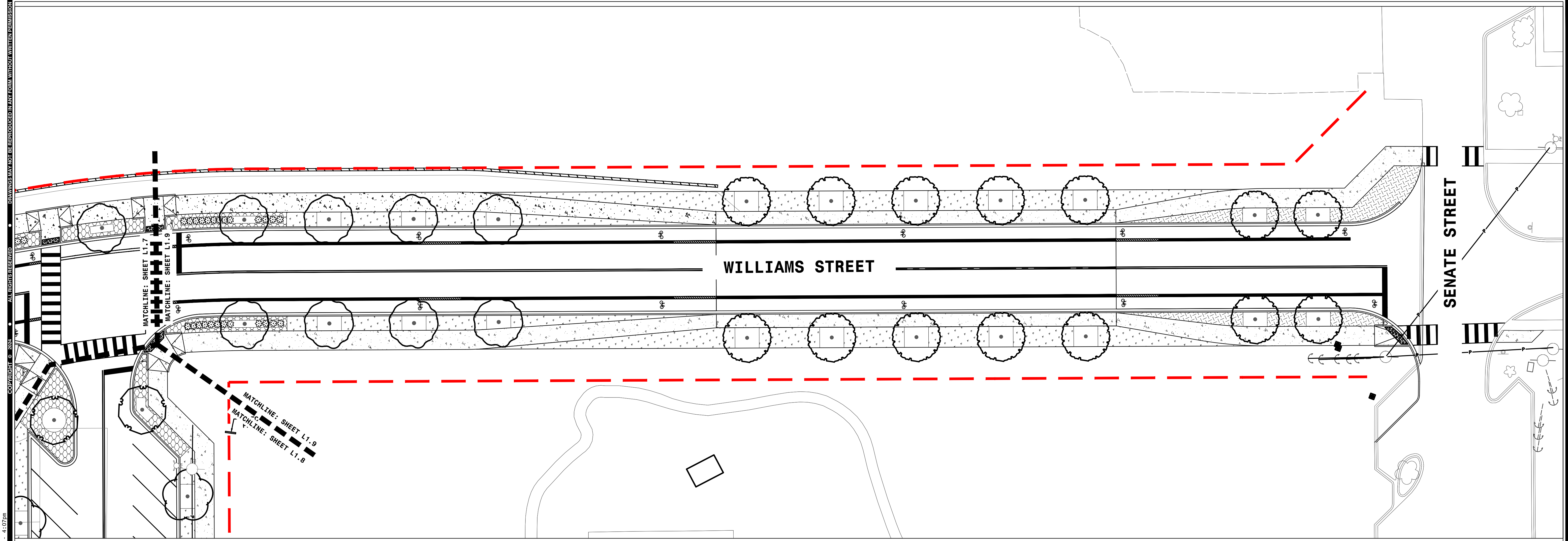
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**WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA**

LANDSCAPE PLAN

DRAWING NUMBER:
L1.7



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TREE PROTECTION NOTES

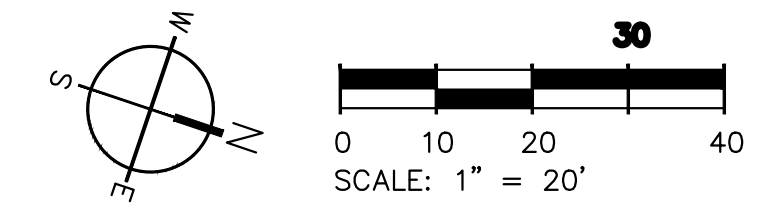
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PLANT SCHEDULE 0

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
TREES								
	QFAL	14	Quercus falcata / Southern Red Oak	2.5' Cal.	14'-16'	4'-6'	35' O.C.	
	QLYR	8	Quercus lyrata / Overcup Oak	2.5' Cal.	14'-16'	4'-6'	35' O.C.	
SHRUBS								
	AAFR	25	Agapanthus africanus / African Lily	3 gal.	18"-24"	18"-24"	36' O.C.	
GROUND COVERS								
	SEM1	343	Iberis sempervirens / Evergreen Candytuft	3 gal.	8"-12"	8"-12"	12' O.C.	
	LMUS	606	Liriope muscari 'Super Blue' / Super Blue Lilyturf	3 gal.	8"-12"	8"-12"	15' O.C.	
	ZOME	4,348 sf	Zoysia japonica Meyer / Meyer Zoysia Grass	Sod				



HUSSEY GAY BELL
Established 1958

Hussey, Gay, Bell & DeYoung, Inc.,
Consulting Engineers of SC
1010 Gervais Street, Suite 100
Columbia, SC 29201

REGISTERED PROFESSIONAL ENGINEER:

Not for Construction

CERTIFICATE OF AUTHORIZATION:

REVISIONS:

DESIGNED:	DRAWN:	CHECKED:
NL	NL	CH
DATE:		
05/01/2025		
JOB NUMBER:		
324131023		
SCALE:		
SEE GRAPHIC SCALE		

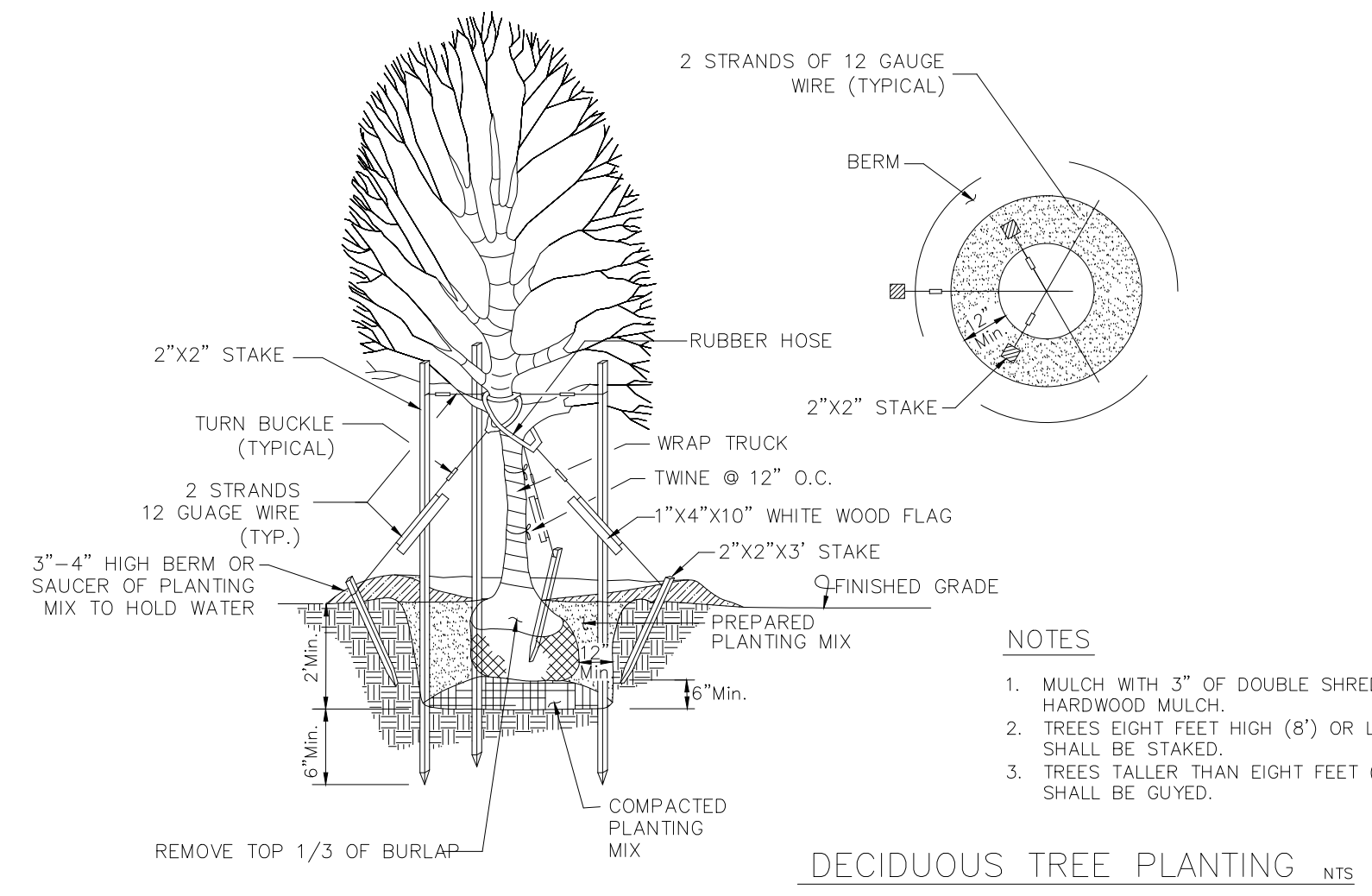
WILLIAM STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA
 LANDSCAPE PLAN

DRAWING NUMBER:
L1.9

X:\Shared\001\Drawings\1 - PROJ-COLA-COMMERCIAL\Thompson, Willems & Bell\11-10 - LANDSCAPE PLAN.dwg, Plotted By: nls, Plotted: Jun 04, 2025 - 4:07pm
 ALL RIGHTS RESERVED © 2025 COPYRIGHT © 2025

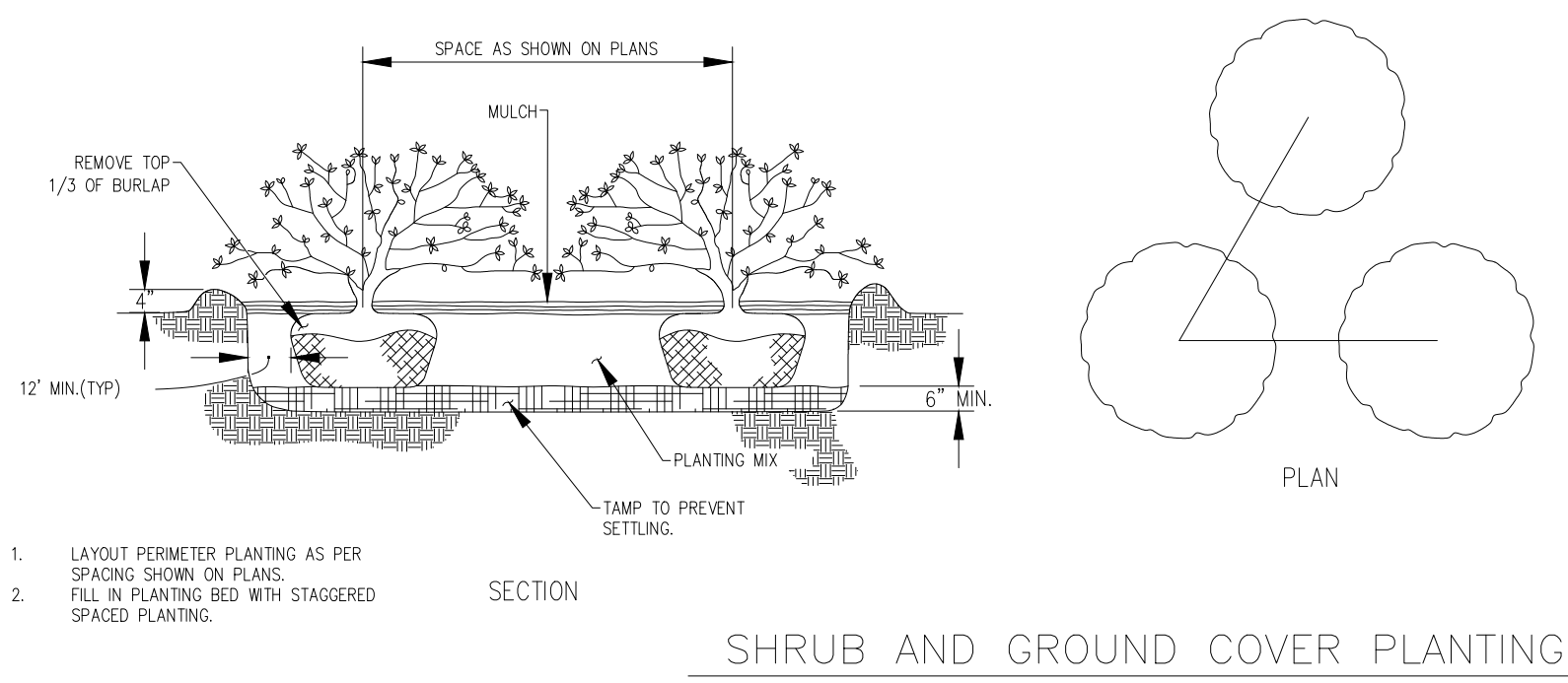
GENERAL PLANTING NOTES

- ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS & DISEASE.
- ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES MUST BE FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE OWNER BEFORE, DURING AND AFTER INSTALLATION AND MUST BE REPLACED WITH ACCEPTABLE PLANT MATERIAL.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SHOWN IN DETAILS.
- PRIOR TO CONSTRUCTION; THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE LANDSCAPE ARCHITECT AND THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION OF THE OWNER).
- THE OWNER AGREES TO PERFORM ALL LANDSCAPE MAINTENANCE (INCLUDING WATERING) THROUGHOUT THE ONE-YEAR GUARANTEE PERIOD UNLESS OTHERWISE DETERMINED.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE, AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" ARE ONLY GUIDELINE SPECIFICATIONS AND SHALL BE CONSIDERED MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- REMAINING GROUND COVER TO BE SOD OR SEED AND PLANTING AREAS TO BE MULCHED WITH PINESTRAW OR PINEBARK MULCH.
- ALL DISTURBED AREAS NOT PAVED SHALL BE GRASSSED WITH PERMANENT GRASSING IN ACCORDANCE WITH THE OVERALL EROSION CONTROL PLAN SPECIFICATIONS FOR PERMANENT GRASSING IN ALL DISTURBED AREAS UNLESS OTHERWISE NOTED.



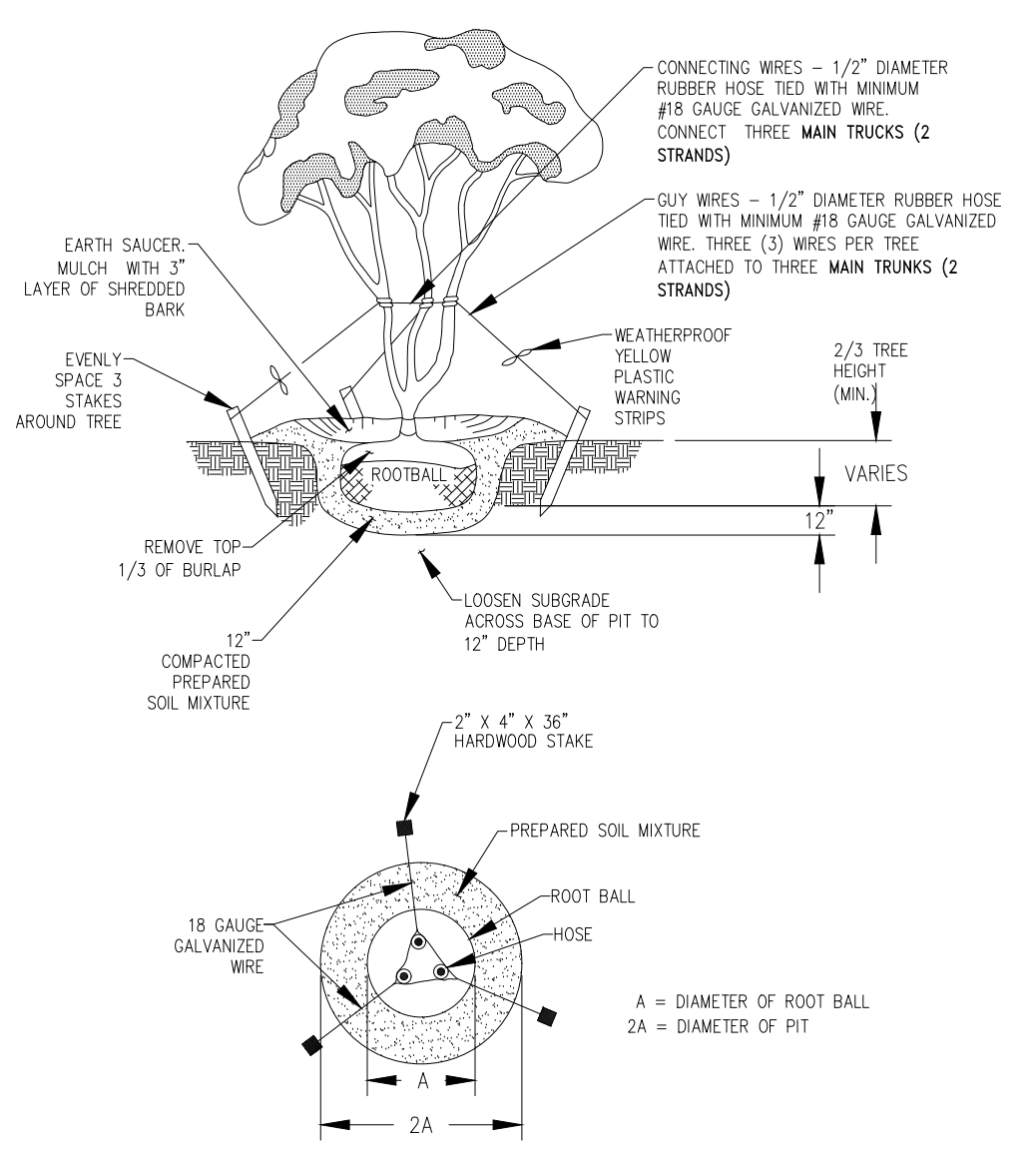
- NOTES**
- MULCH WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH.
 - TREES EIGHT FEET HIGH (8') OR LESS SHALL BE STAKED.
 - TREES TALLER THAN EIGHT FEET (8') SHALL BE GUYED.

DECIDUOUS TREE PLANTING NTS

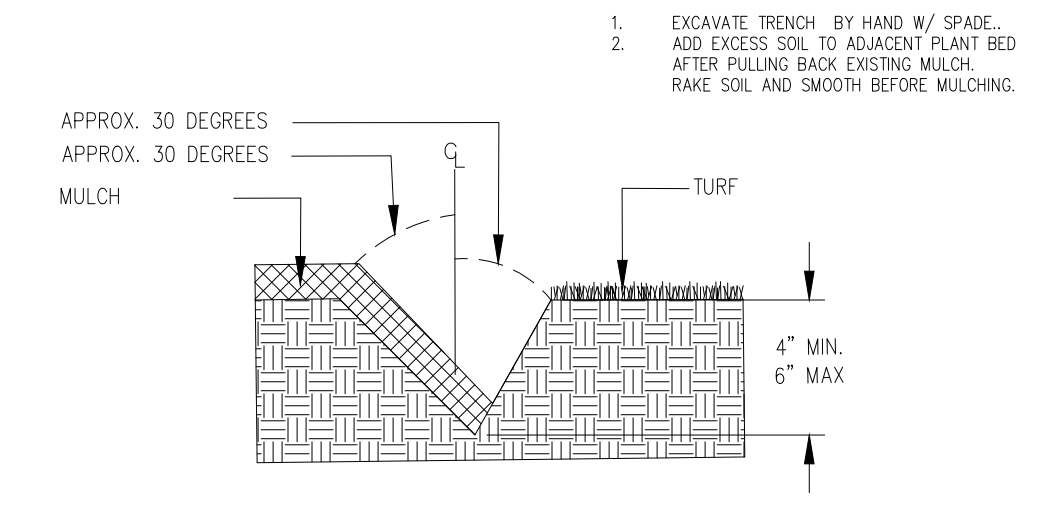


- LAYOUT PERIMETER PLANTING AS PER SPACING SHOWN ON PLANS.
- FILL IN PLANTING BED WITH STAGGERED SPACED PLANTING.

SHRUB AND GROUND COVER PLANTING NTS



MULTI TRUNK TREE PLANTING NTS



LAWN EDGE NTS

MASTER PLANT LIST

PLANT SCHEDULE									
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS	
TREES									
	LIND	3	Lagerstroemia indica / Crape Myrtle	B&B or CONT.	10-12		As Shown	Multi-stem	
	LTUL	41	Liriodendron tulipifera / Tulip Poplar	2.5' Cal.	14-16'	4-6'	35' O.C.		
	NSYL	6	Nyssa sylvatica / Black Gum	3' Cal.	14-16'	4-6'	As Shown		
	QFAL	42	Quercus falcata / Southern Red Oak	2.5' Cal.	14-16'	4-6'	35' O.C.		
	QLYR	51	Quercus lyrata / Overcup Oak	2.5' Cal.	14-16'	4-6'	35' O.C.		
	GNUT	33	Quercus nuttallii / Nuttall Oak	2.5' Cal.	14-16'	4-6'	35' O.C.		
	QSHU	30	Quercus shumardii / Shumard Oak	2.5' Cal.	14-16'	4-6'	35' O.C.		
	UAME	8	Ulmus americana / American Elm	2.5' Cal.	14-16'	4-6'	35' O.C.		
SHRUBS									
	AAFR	107	Agapanthus africanus / African Lily	3 gal.	18-24"	18-24"	36' O.C.		
	AAFA	81	Agapanthus africanus Alba / African Lily	3 gal.	18-24"	18-24"	36' O.C.		
	CALH	66	Clethra alnifolia Hummingbird / Hummingbird Summersweet	3 gal.	18-24"	18-24"	48' O.C.		
	LLOB	102	Lomandra longifolia Breeze / Breezegrass	3 gal.	18-24"	18-24"	36' O.C.		
	ROSM	154	Rosa x Meidifolia Coral Drift® Groundcover Rose	3 gal.	12-18"	12-18"	24' O.C.		
	RTUS	94	Rosmarinus officinalis Tuscan Blue® / Tuscan Blue Rosemary	3 gal.	18-24"	18-24"	48' O.C.		
	TDWF	65	Tripsacum daniellum Dwarf Fakahatchee	3 gal.	18-24"	12-18"	36' O.C.		
GROUND COVERS									
	AREP	5,578	Ajuga reptans / Carpet Bugle	1 gal.			9' O.C.		
	ISEM	4,480	Iberis sempervirens / Evergreen Candytuft	3 gal.	8-12"	8-12"	12' O.C.		
	LMUS	2,524	Liriope muscari Super Blue® / Super Blue Lilyturf	3 gal.	8-12"	8-12"	15' O.C.		
	ZOME	24,096 sf	Zoysia japonica Meyer® / Meyer Zoysia Grass	Sod					

HUSSEY GAY BELL
Established 1958

REGISTERED PROFESSIONAL ENGINEER

CERTIFICATE OF AUTHORIZATION

811
CALL BEFORE YOU DIG
SAFE DIGGING PARTNER

REVISIONS:

DESIGNED: NL
 DRAWN: NL
 CHECKED: CH

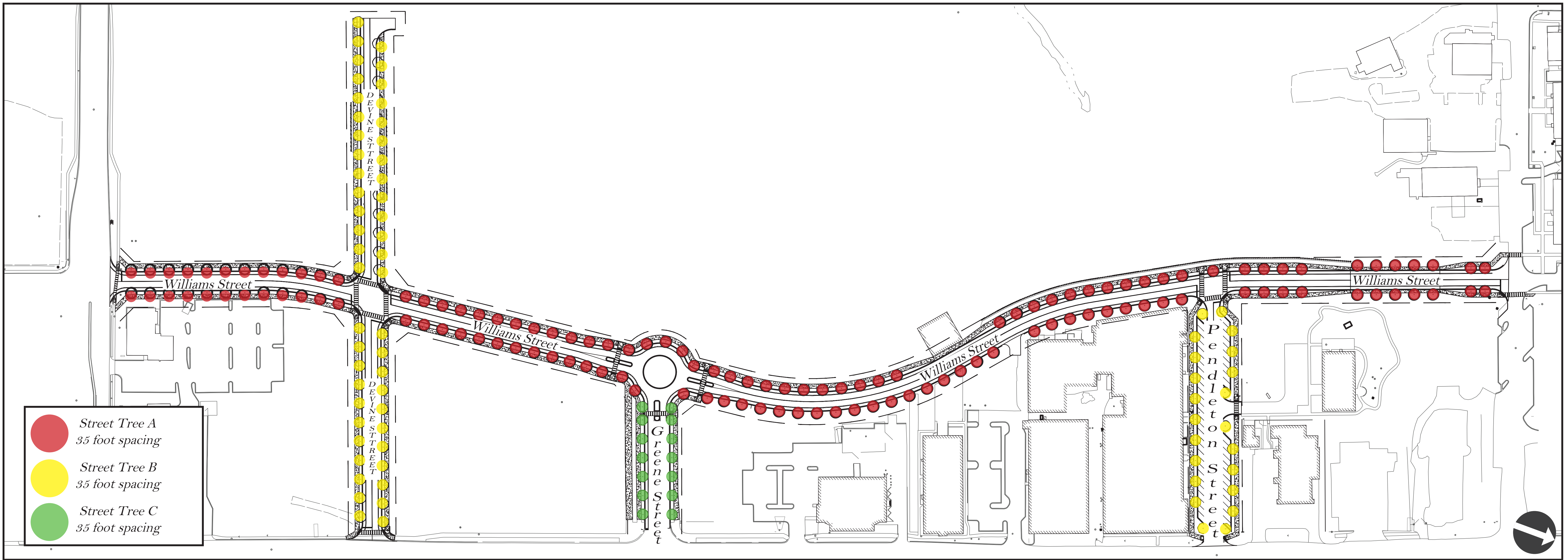
DATE: 05/01/2025

JOB NUMBER: 324131023

SCALE: SEE GRAPHIC SCALE

**WILLIAM STREET EXTENSION
 COLUMBIA, SC
 FOR CITY OF COLUMBIA**
 LANDSCAPE DETAILS & NOTES

DRAWING NUMBER:
L2.0



Street Tree Group A



Quercus falcata
Southern Red Oak



Quercus lyrata
Overcup Oak



Quercus nuttallii
Nuttall Oak

● Street Tree Group B



Liriodendron tulipifera
Tulip Tree



Quercus shumardii
Shumard Oak

● Street Tree Group C

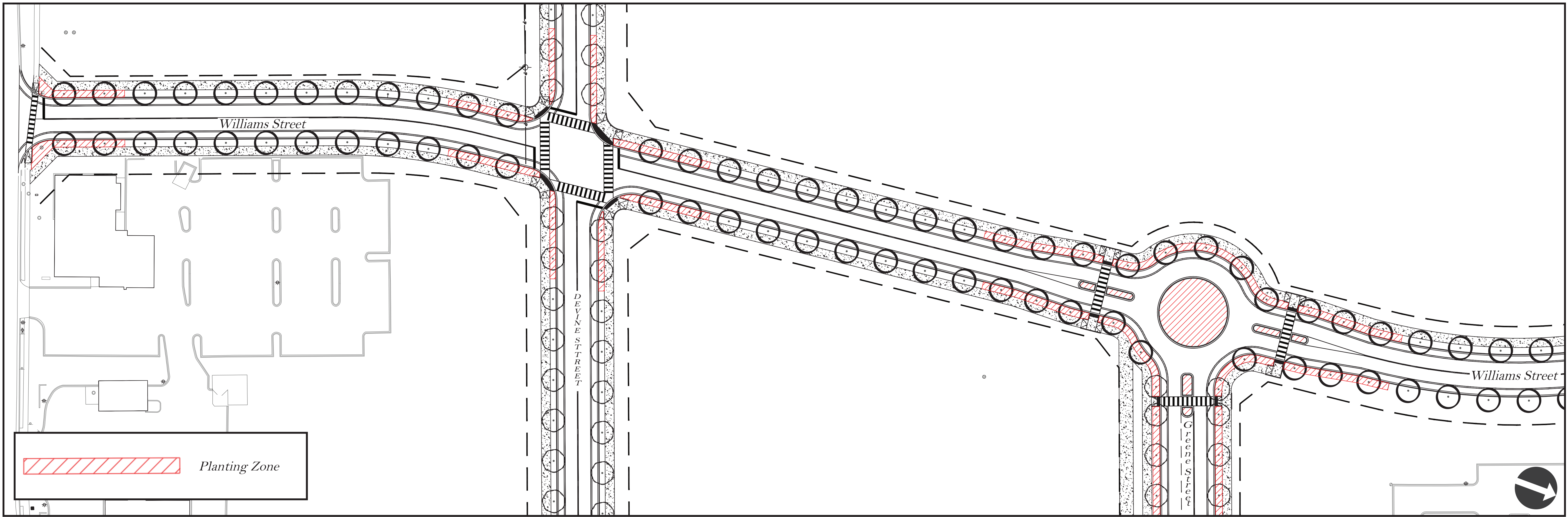


Nyssa sylvatica
Black Gum



Ulmus americana
American Elm

William's St. Extension Columbia, SC - Street Trees



Sample Plant Palette



Agapanthus africanus
African Lily



Ajuga reptans
Carpet Bugle



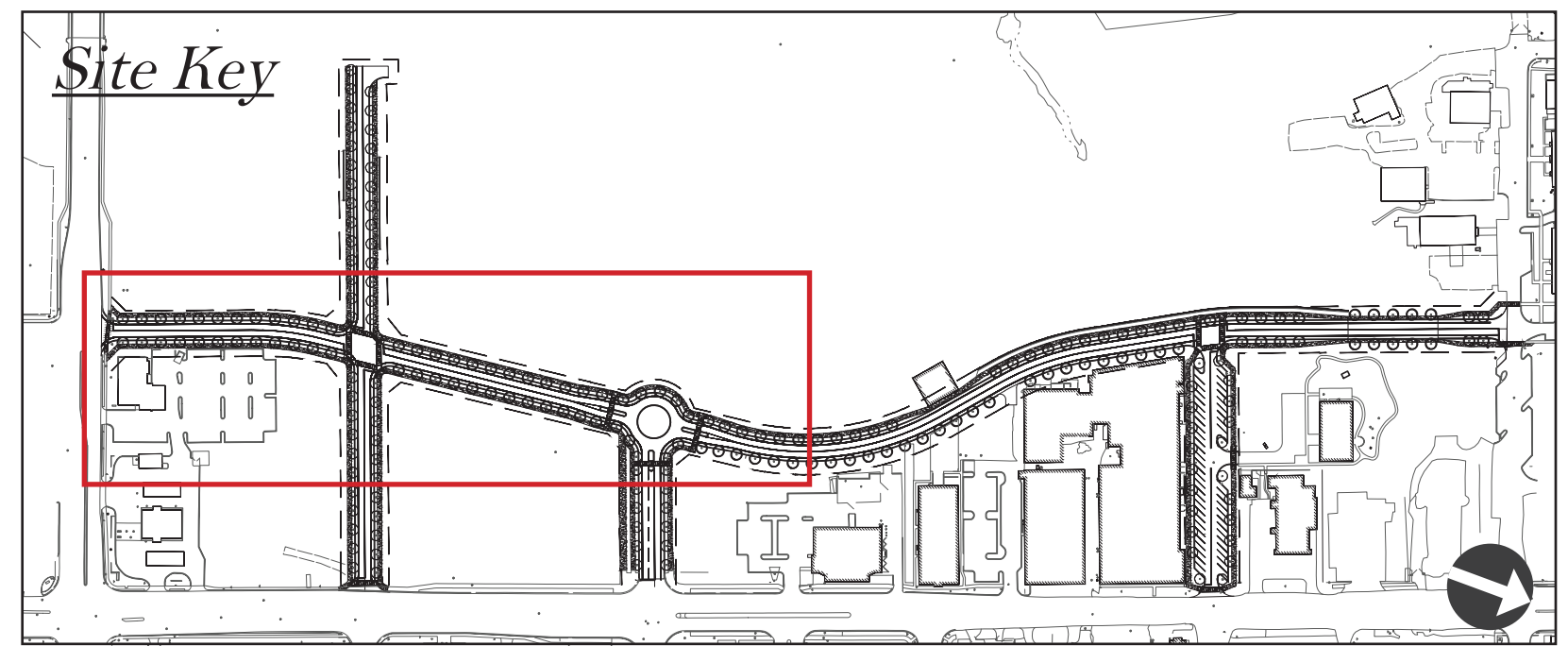
C. alnifolia 'Hummingbird'
Hummingbird Summersweet



Iberis sempervirens
Evergreen Candytuft



Liriope muscari 'Big Blue'
Big Blue Liriope



Lom. longifolia 'Breeze'
Breezegrass



Rosa 'Meidrifora'
Coral Drift Rose



R. officinalis 'Tuscan Blue'
Tuscan Blue Rosemary

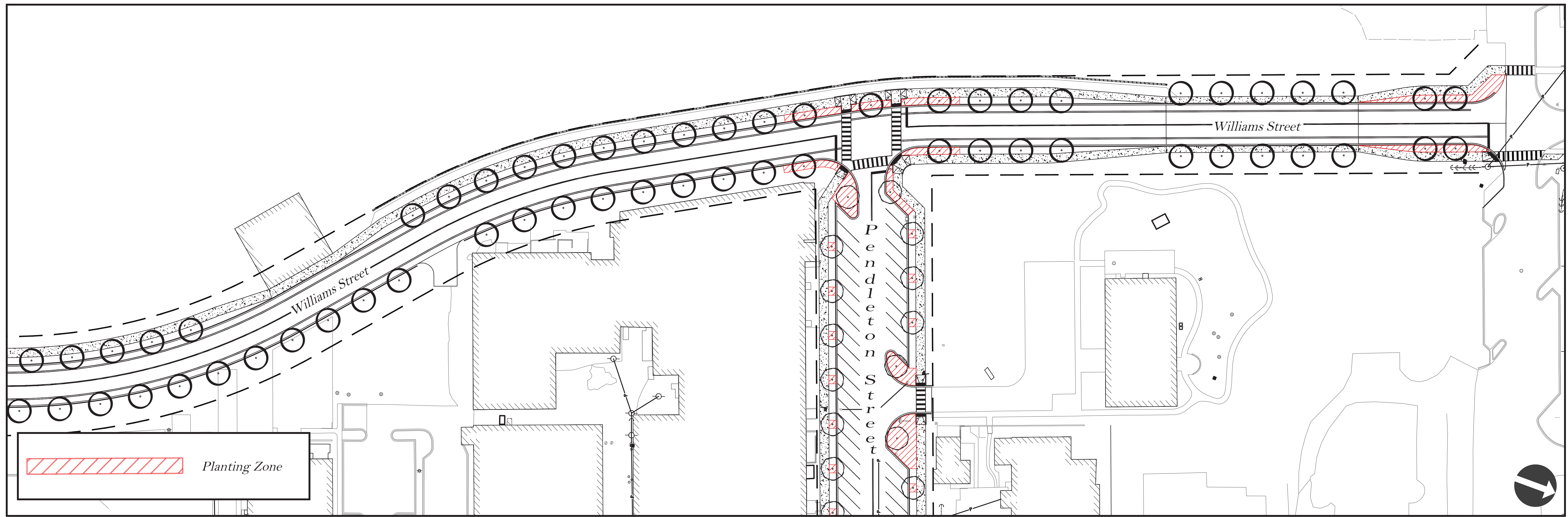


Tripsacum floridanum
Dwarf Fakahatchee Grass



Lagerstroemia indica
Big Blue Liriope

William's St. Extension Columbia, SC - Special Planting Areas



Sample Plant Palette



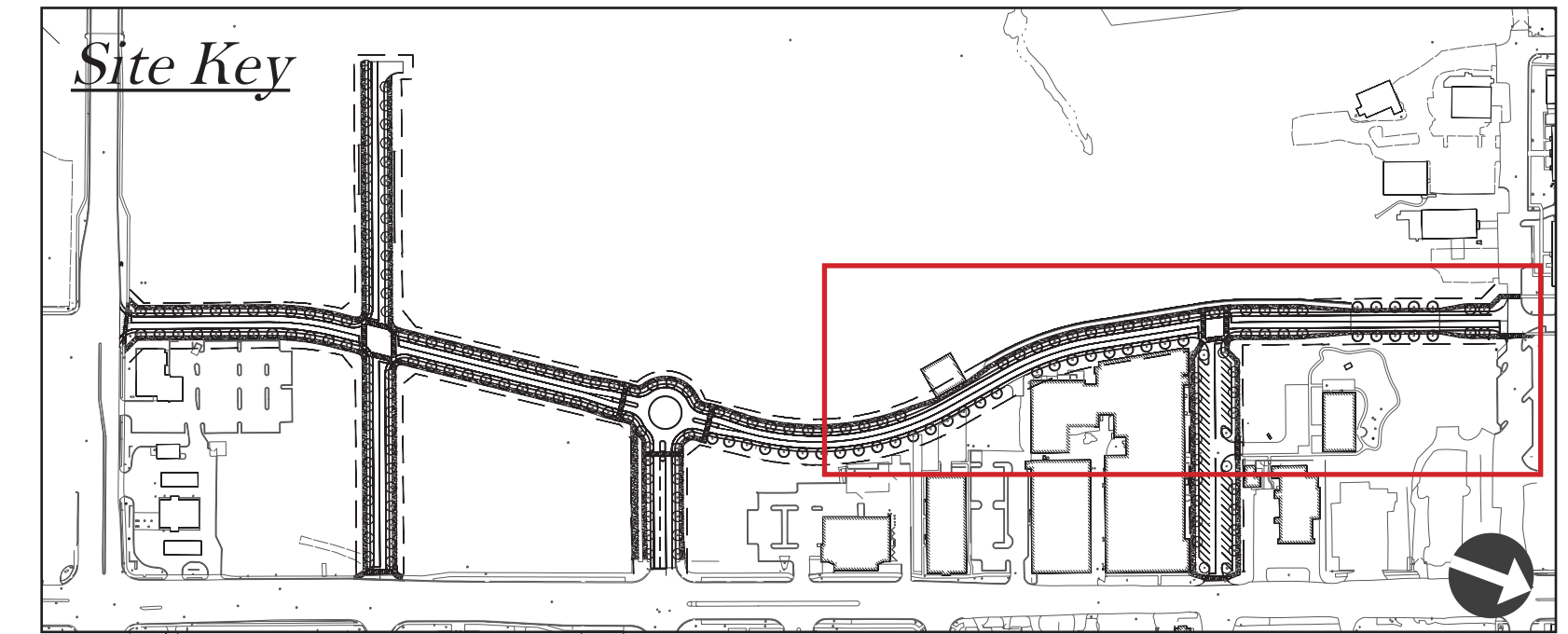
Ajuga reptans
Carpet Bugle



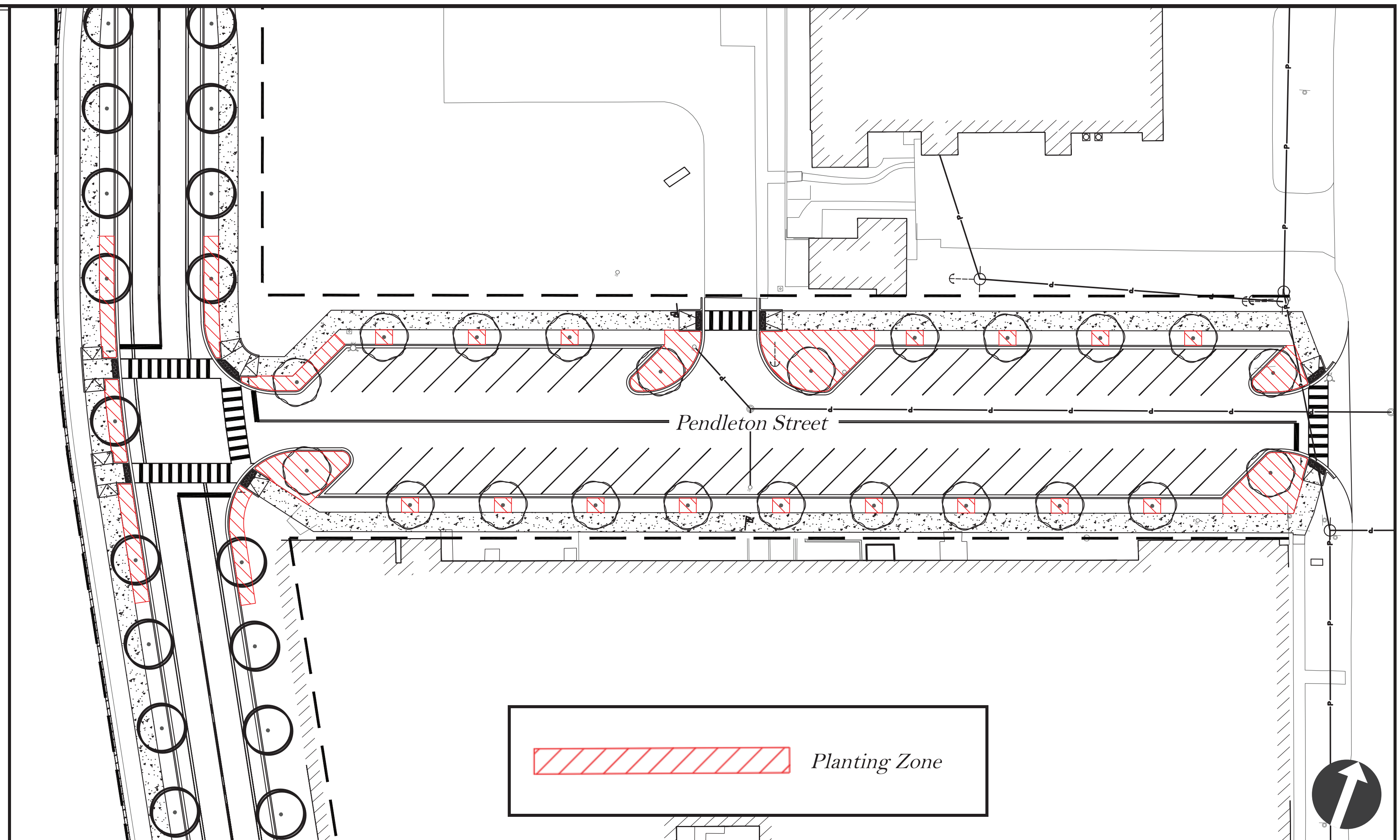
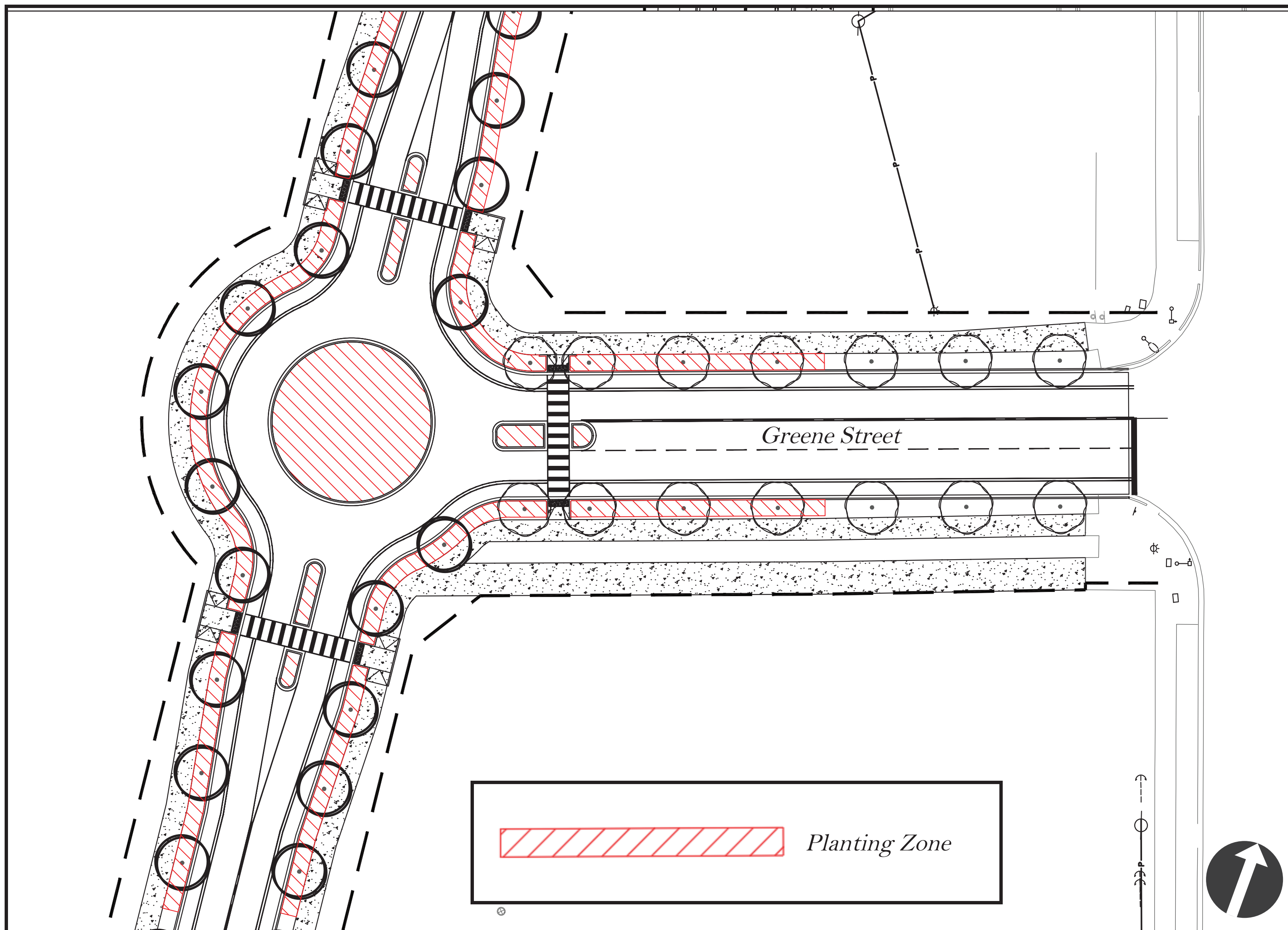
Iberis sempervirens
Evergreen Candytuft



Liriope muscari 'Big Blue'
Big Blue Liriope



William's St. Extension Columbia, SC - Special Planting Areas



Sample Plant Palette



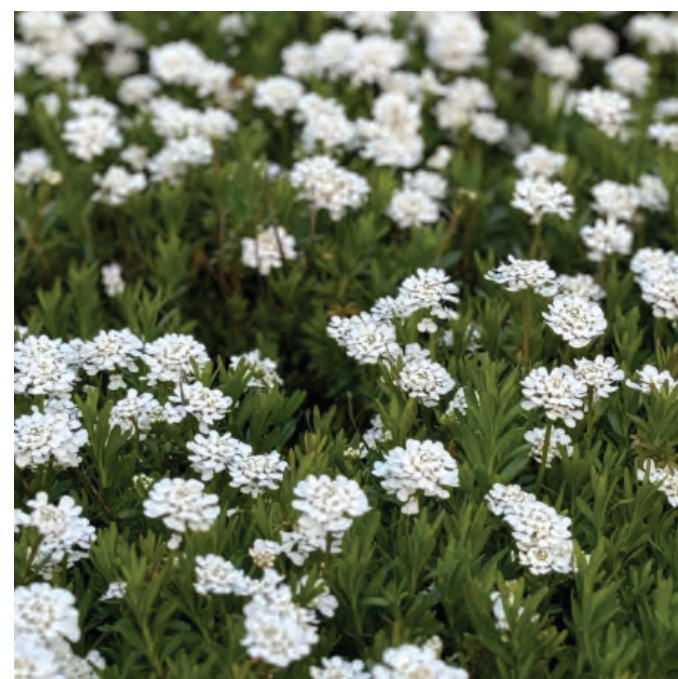
Agapanthus africanus
African Lily



Ajuga reptans
Carpet Bugle



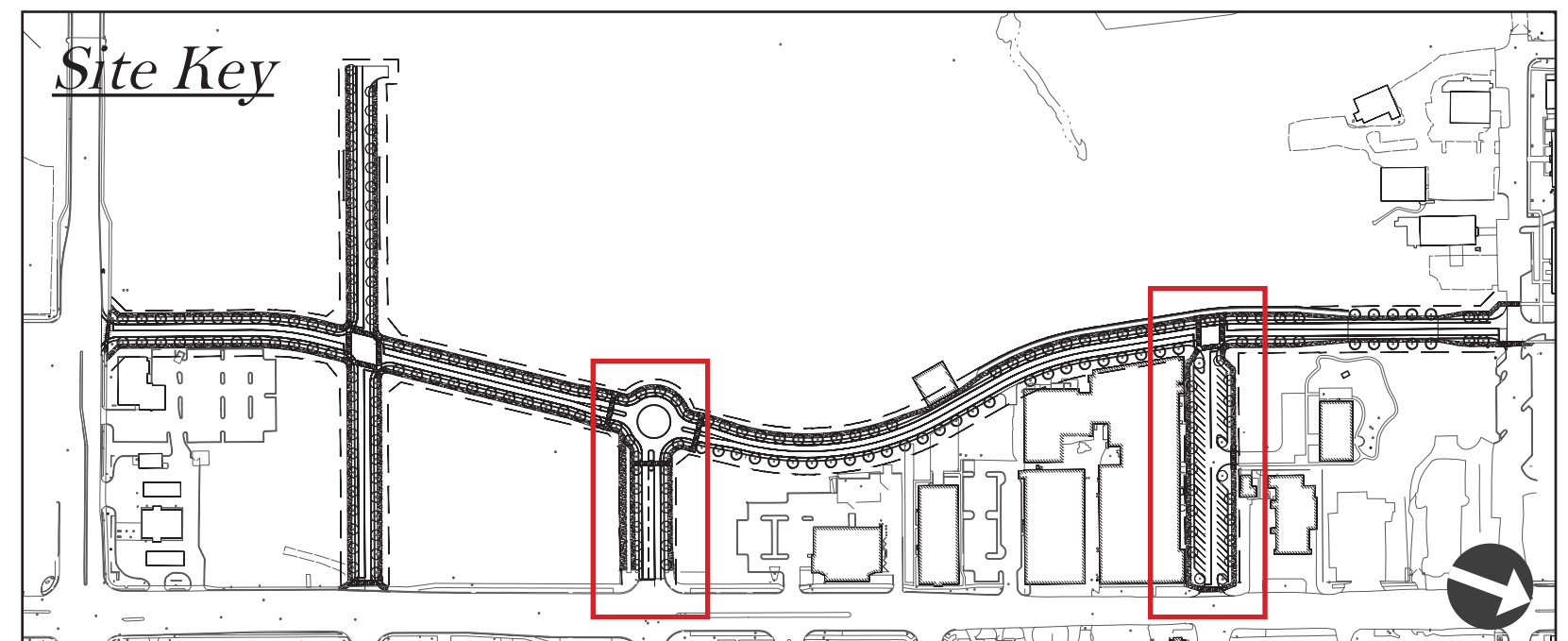
C. alnifolia 'Hummingbird'
Hummingbird Summersweet



Iberis sempervirens
Evergreen Candytuft



Liriope muscari 'Big Blue'
Big Blue Liriope



Lom. longifolia 'Breeze'
Breezegrass



Rosa 'Meidrifora'
Coral Drift Rose



R. officinalis 'Tuscan Blue'
Tuscan Blue Rosemary



Tripsacum floridanum
Dwarf Fakahatchee Grass



Lagerstroemia indica
Big Blue Liriope

William's St. Extension Columbia, SC - Special Planting Areas



July 23, 2025

VIA EMAIL: tbassnett@husseygaybell.com

Travis Basnett, PE
Hussey Gay Bell
1010 Gervais Street, Suite 100
Columbia, SC 29201

**RE: SKETCH PLAN: WILLIAMS STREET EXTENSION, TMS#08910-01-01, 08910-01-02, 08911-01-08, 08911-01-13, AND 08911-01-14
ENERGOV PLAN NUMBER: SPLAT-2025-0046**

Dear Mr. Basnett:

This letter is to confirm that in accordance with §17-2.5(j)(5) of the City of Columbia Unified Development Ordinance (UDO), the above referenced sketch plan application for the extension of Williams Street from Senate Street to Blossom Street, Devine Street Extension, Greene Street Extension, and Pendleton Street Extension, more specifically TMS#08910-01-01, 08910-01-02, 08911-01-08, 08911-01-13, and 08911-01-1409203-01-01, was reviewed and conditionally approved. After review of the sketch plan application and plan, we find the following:

1. The properties are zoned MC, -OV-ID, and OV-FP (Mixed Commercial District within the Innovista and Floodplain Overlay Districts) and street extensions are permitted.

The sketch plan is approved conditioned upon compliance with all reviewing agency comments as outlined in the table below.

CITY AGENCY COMMENTS FOR SKETCH PLAN REVIEW	
Planning and Development Services	Recommend approval with conditions: 1. Road names must be approved by Planning Commission during preliminary plat review.
Utilities	Recommend approval with conditions: 1. Any needed upgrade, extension or relocation of City utilities must be provided by the developer and must meet the City's design standards. 2. Any privately owned/maintained utilities or permanent structures cannot be located inside exclusive City of Columbia utility easements. 3. Water/Sewer mains, 4" and above water meters or any privately maintained utilities will not be allowed inside public

	<p>right-of-ways without an approved encroachment permit and written approval from the City Engineer.</p> <p>4. Easements for future expansion of the water and sewer systems to serve adjacent property may be required. If required these easements must be reserved at 600’ intervals along the boundary of the property to allow future connection to the water/sewer system.</p>
Traffic Engineering	Recommend approval.
Fire Department	Recommend approval.
Forestry	Recommend approval.
Stormwater	<p>Recommend approval with condition:</p> <p>1. Development must comply with all applicable land disturbance, floodplain, and wetlands requirements.</p>
Parking	Recommend approval.
Street Division	Recommend approval.
Solid Waste	Recommend approval.

In accordance with §17-2.5(j)(5)a4(ii) of the City of Columbia Unified Development Ordinance (UDO) and §6-29-1540 of the South Carolina Code of Laws this site-specific development plan expires on July 23, 2027.

In accordance with §17-2.4(j) and §17-2.5 of the Unified Development Ordinance, and §6-29-1150 of the South Carolina Code of Laws an appeal of the approval of this sketch plan may be made in accordance with §17-2.5(v) of the Unified Development Ordinance (UDO).

While contacting the neighborhood association and/or adjacent property owners is not required by Unified Development Ordinance, it is strongly encouraged. Doing so can help identify potential issues early, build community support for your project, and foster positive relationships with the residents.

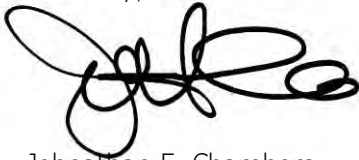
For information regarding commercial building plan review and obtaining land disturbance, building and other permits for this project, please visit our website at www.planninganddevelopment.columbiasc.gov or contact the Development Center at (803) 545-3483.

This letter is neither a building permit, zoning permit, nor any similar authorization to occupy the property or begin construction; rather it confirms that this site specific development plan has been reviewed and approved in accordance with the Unified Development Ordinance (UDO).

For your convenience, I have attached a copy of the documents reviewed and approved. Should you

have any questions or need additional information, please feel free to contact me at (803) 545-3206.

Sincerely,

A handwritten signature in black ink, appearing to read 'Johnathan E. Chambers', with a stylized flourish at the end.

Johnathan E. Chambers
Land Development Administrator

Attachments

cc: Krista M. Hampton, Director of Planning and Development Services



Williams Street Connection

This map was prepared using
the City GIS Viewer
City of Columbia - GIS Division
6/18/2025 12:31 PM



Street & Ownership

CFCC, Ownership

Interstate



Highway



City Maintained



State Maintained



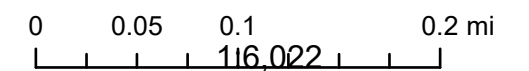
Private



Others



Columbia City Limits



1:6,022

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Williams Street Connection

This map was prepared using the City GIS Viewer
 City of Columbia - GIS Division
 6/18/2025 12:32 PM



Street & Ownership Design Overlays

CFCC,Ownership	District Name
Interstate	City Center Design Overlay District
Highway	Five Points Design Overlay District (Lower)
City Maintained	Five Points Design Overlay District (Upper)
State Maintained	Innovista 150 Foot Height Buffer Area
Private	Innovista 55 Foot Height Buffer Area
Others	Innovista 75 Foot Height Buffer Area
Columbia City Limits	Innovista 80 Foot Height Buffer Area
	Innovista Design Overlay District

Zoning Districts

Zoning District
DAC: Downtown Activity Center/Corridor
RAC: Regional Activity Center/Corridor
CAC: Community Activity Center/Corridor
NAC: Neighborhood Center/Corridor
O-I: Office and Institutional District
GC: General Commercial District
MC: Mixed Commercial District

Zoning Districts

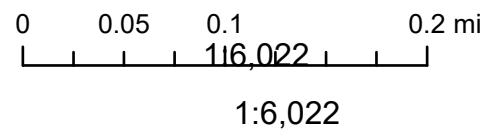
MU-2: Mixed-Use
MU-1: Mixed-Use
RSF-3: Residential Single Family - Small Lot District
RSF-2: Residential Single Family - Medium Lot District
RSF-1: Residential Single Family - Large Lot District
RM-2: Residential Mixed
RM-1: Residential Mixed
RD-MV: Residential Two-Family - Mill Village District
RD: Residential Two-Family District
HI: Heavy Industrial District

Zoning Districts

LI: Light Industrial District
EC: Employment Campus District
PD: Planned Development
T/C: Transitional/Conservation District
LL-R: Large Lot - Reserve District
INS-FJ: Institutional - Fort Jackson District
INS-U/M: Institutional - University/Medical District
INS-ZOO: Institutional - Riverbanks Zoo and Gardens District
INS-T/U: Institutional - Transportation/Utilities District
INS-GEN: Institutional - General District

Zoning Districts

LI: Light Industrial District
EC: Employment Campus District
PD: Planned Development
T/C: Transitional/Conservation District
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Major Subdivision – Sketch Plan

Application and Checklist

Checklist for All Applications

A complete sketch plan application shall include the following information. Please initial to signify that the requested information has been provided.

	Applicant Initials	Staff Initials
A copy of this Application Checklist , completed by the applicant.	TB	
A completed and signed Application Form	TB	
Letters of Agency for all applications where the applicant is not the owner of the subject property	TB	
Payment of the required fee (see Unified Development Ordinance Fee Schedule)	TB	
Sketch Plan Please see page 4 below for required content.	1 copy: min. 18 x 24 inches or 1 digital copy (pdf format) TB	



Major Subdivision – Sketch Plan

Application and Checklist

1. Applicant Information

Name Travis Basnett, PE	
Company (if applicable) Hussey Gay Bell	
Address (street, city, state, zip)	

2. Property Information

Address Williams Street at Blossom Street and Senate Street		
Tax Map Reference Number(s) R08910-01-01, R08911-01-14, R08910-01-02, R08911-01-08, R08911-01-13		
Current use Vacant	Proposed use Infrastructure - Linear	
Current zoning MC - Mixed Commercial	Number of lots N/A	Total acreage +/- 65 acres

3. Property Status

Pursuant to S.C. Code § 6-29-1145, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this permit? Yes No

4. Property Ownership

Does the applicant own the property? Yes No

If the applicant does not own the property, complete the **Letter of Agency** for each property owner that authorizes the applicant to submit this application on the property owner's behalf.

<i>For staff use only</i>	
Date received (M/D/Y): ____/____/____	By: _____



Major Subdivision – Sketch Plan

Application and Checklist

5. Project Description

Provide a brief description of the project.

Proposed Williams Street Extension between Blossom Street and Senate Street. Connections to Devine Street, Greene Street and Pendleton Street. Approximately 4,400 LF of new roadway, along with water and sanitary sewer infrastructure. Roadway improvements will include cycle track, pedestrian access, landscaping, and street lighting.

6. Additional Submission Requirements

Sketch Plan

The proposed site plan shall be prepared to scale and fully dimensioned, and include the following:


	Applicant	Staff
Total acreage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tentative phasing plan, including total acreage per phase (if applicable)	N/A <input type="checkbox"/>	<input type="checkbox"/>
Location and arrangement of streets, driveways, and lots (fully dimensioned)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of rights-of-way and ingress/egress easements (fully dimensioned)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lot area and number of lots or dwelling units in multifamily dwellings	N/A <input type="checkbox"/>	<input type="checkbox"/>
Existing and proposed uses of land throughout the subdivision	N/A <input type="checkbox"/>	<input type="checkbox"/>
Existing uses of land surrounding the subdivision, including 1) existing street right-of-way widths abutting the subdivision and 2) locations of intersections within 200 feet of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Topography by contours (at vertical intervals of not more than 5 feet)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed name of the subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Percentage of open space	<input checked="" type="checkbox"/>	<input type="checkbox"/>



Major Subdivision – Sketch Plan

Application and Checklist

7. Signature

Signature of Applicant	
	
Print Name	Date
Travis Basnett, PE	6/11/25



Letter of Agency

Application Supplement

TO: Planning and Development Services, City of Columbia

I, the undersigned property owner, do hereby attest that I am the person that holds, or I am authorized on behalf of the party that holds, fee simple interest in the following parcel(s):

Common Street Address
Senate Street, Blossom Street, Huger Street, Pendleton Street
Tax Map Reference Numbers
R08910-01-01, R08911-01-14, R08910-01-02, R08911-01-08, R08911-01-13

Further, I hereby authorize the persons and/or entities listed as AUTHORIZED AGENT(S) below to act on my behalf for the purpose of submitting documents, amending documents, meeting with staff, attending public meetings and hearings, and as otherwise may be necessary and proper to fulfill the required steps to request the following:

- ~~CT 1. Variance, Special Exception, and/or Administrative Appeal (Board of Zoning Appeals)~~
- ~~CT 2. Zoning Map Amendment (Planning Commission and City Council, if applicable)~~
- ~~CT 3. Site Plan Review (Planning Commission or D/DRG)~~
- ~~CT 4. Design Review (D/DRG)~~
- ~~CT 5. Minor Subdivision (Staff)~~
- 6. Major Subdivision (Planning Commission)
- ~~CT 7. Encroachment (Staff and City Council, if applicable)~~
- ~~CT 8. Street Naming/Renaming (Planning Commission)~~

*****Please strike-through and initial any of the above-listed steps that do not fall under the scope of this Letter of Agency***

[signatures on following page]

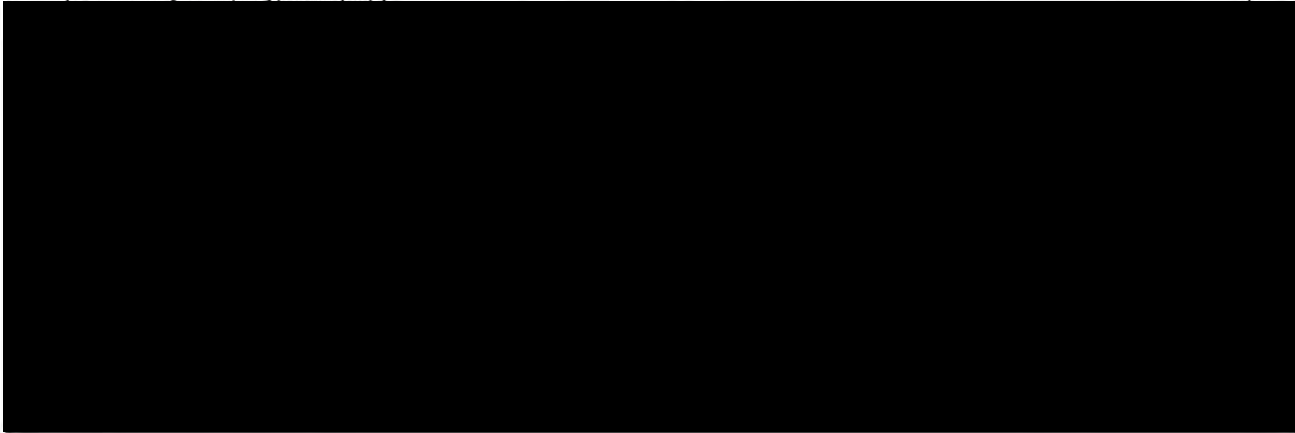


Letter of Agency

Application Supplement

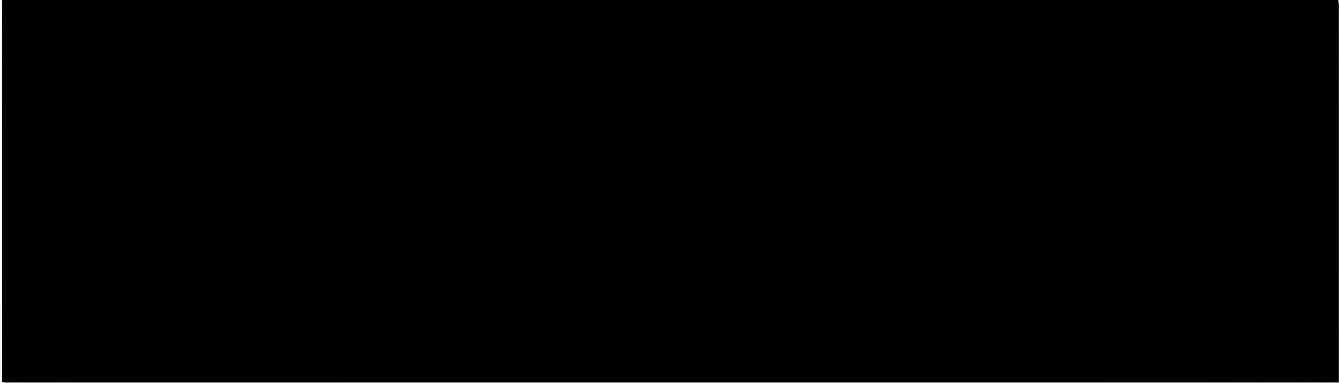
Property Owner

Signature <i>[Handwritten Signature]</i> MANAGER	Date 6/12/25
Print Name of Property Owner Guignard Associates LLC	
Address (street, city, name, zip)	



Authorized Agent

Signature <i>[Handwritten Signature]</i>	Date 2/2/25
Print Name Travis Basnett, PE	
Address (street, city, name, zip)	





Letter of Agency

Application Supplement

TO: Planning and Development Services, City of Columbia

I, the undersigned property owner, do hereby attest that I am the person that holds, or I am authorized on behalf of the party that holds, fee simple interest in the following parcel(s):

Common Street Address 801 and 809 Huger St
Tax Map Reference Numbers R08911-01-11 & 12

Further, I hereby authorize the persons and/or entities listed as AUTHORIZED AGENT(S) below to act on my behalf for the purpose of submitting documents, amending documents, meeting with staff, attending public meetings and hearings, and as otherwise may be necessary and proper to fulfill the required steps to request the following:

- ~~1. Variance, Special Exception, and/or Administrative Appeal (Board of Zoning Appeals)~~
- ~~2. Zoning Map Amendment (Planning Commission and City Council, if applicable)~~
- ~~3. Site Plan Review (Planning Commission or D/DRC)~~
- ~~4. Design Review (D/DRC)~~
- ~~5. Minor Subdivision (Staff)~~
- 6. Major Subdivision (Planning Commission)
- ~~7. Encroachment (Staff and City Council, if applicable)~~
- ~~8. Street Naming/Renaming (Planning Commission)~~

****Please strike-through and initial any of the above-listed steps that do not fall under the scope of this Letter of Agency.**

[signatures on following page]




Letter of Agency
Application Supplement

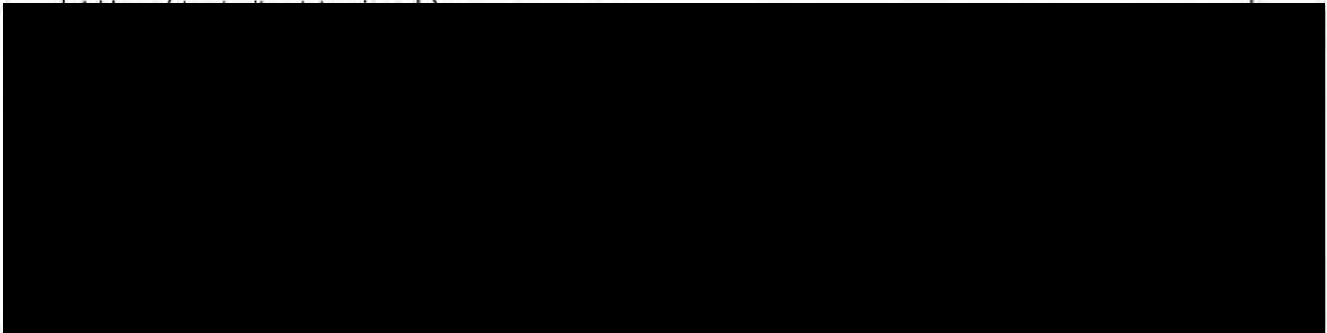
Property Owner

Signature	Date
Print Name of Property Owner SC State Credit Union c/o Jim Kinard, President & CEO	
Address (street, city, state, zip code)	



Authorized Agent

Signature 	Date 6/16/25
Print Name Travis Basnett, PE, Principal	





Letter of Agency Application Supplement

TO: Planning and Development Services, City of Columbia

I, the undersigned property owner, do hereby attest that I am the person that holds, or I am authorized on behalf of the party that holds, fee simple interest in the following parcel(s):

Common Street Address 917 Huger St
Tax Map Reference Numbers R08911-01-09

Further, I hereby authorize the persons and/or entities listed as AUTHORIZED AGENT(S) below to act on my behalf for the purpose of submitting documents, amending documents, meeting with staff, attending public meetings and hearings, and as otherwise may be necessary and proper to fulfill the required steps to request the following:

- ~~1. Variance, Special Exception, and/or Administrative Appeal (Board of Zoning Appeals) X CK~~
- ~~2. Zoning Map Amendment (Planning Commission and City Council, if applicable) X CK~~
- ~~3. Site Plan Review (Planning Commission or D/DRC) X CK~~
- ~~4. Design Review (D/DRC) X CK~~
- ~~5. Minor Subdivision (Staff) X CK~~
6. Major Subdivision (Planning Commission)
- ~~7. Encroachment (Staff and City Council, if applicable) X CK~~
- ~~8. Street Naming/Renaming (Planning Commission) X CK~~

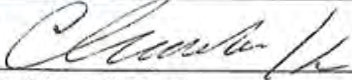
****Please strike-through and initial any of the above-listed steps that do not fall under the scope of this Letter of Agency.**

[signatures on following page]




Letter of Agency Application Supplement

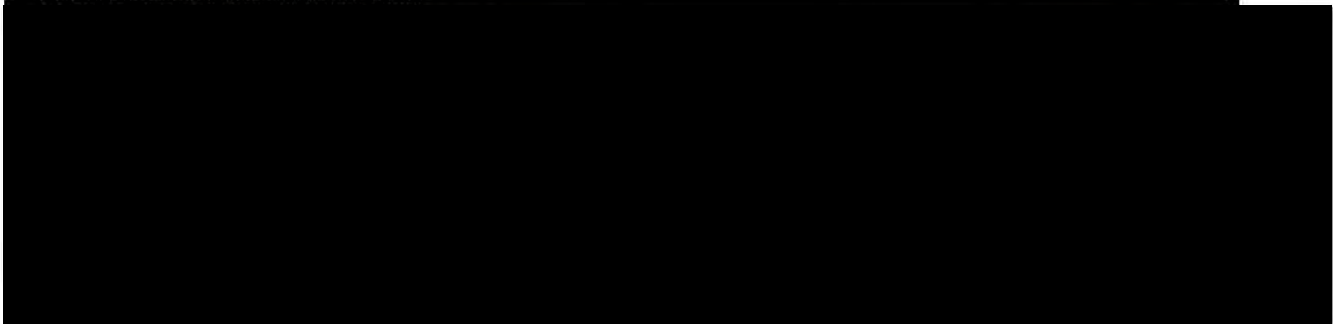
Property Owner

Signature 	Date 6/16/25
Print Name of Property Owner MBK Receivables LLC; c/o Charles Khan ^{Khan} , Manager - Far LLC	
Address (street, city, state, zip code)	

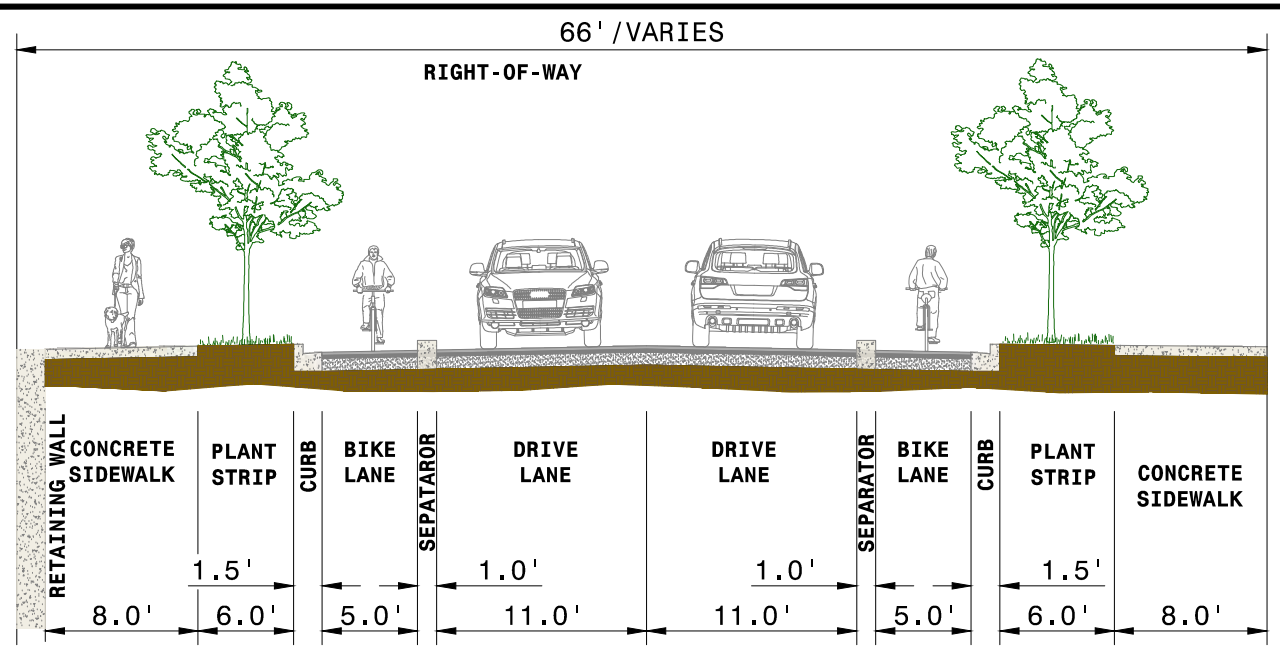


Authorized Agent

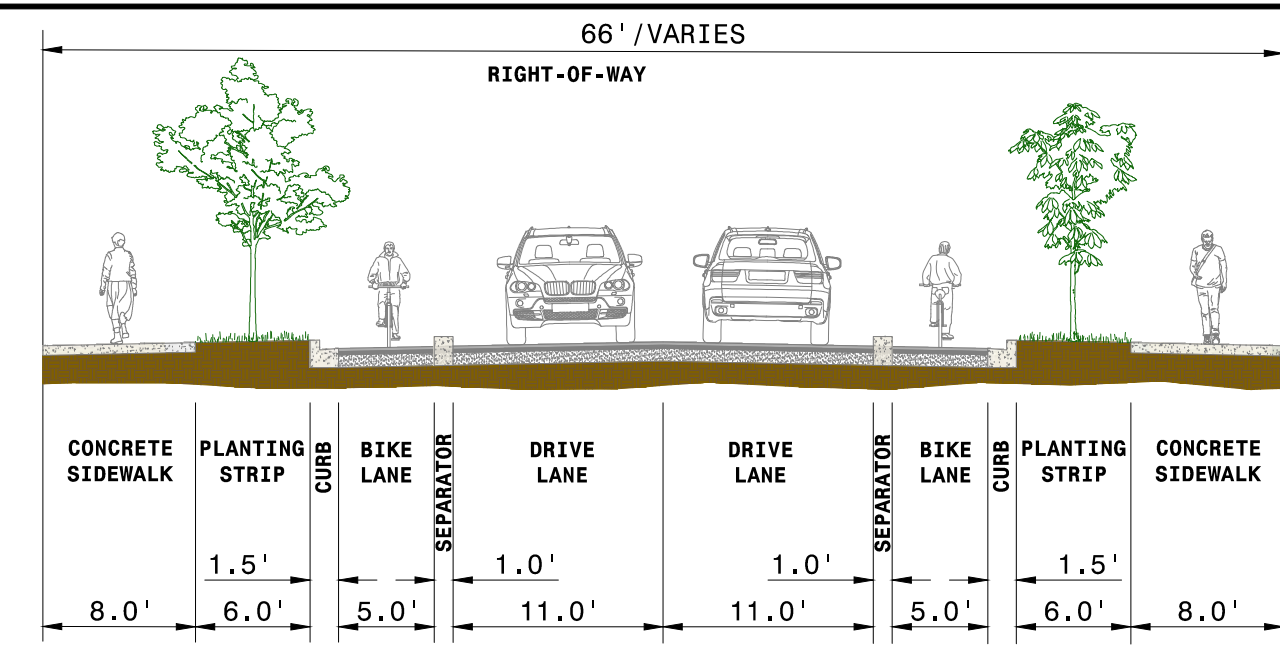
Signature 	Date 6/18/25
Print Name Travis Basnett, PE, Principal	
Address (street, city, state, zip code)	



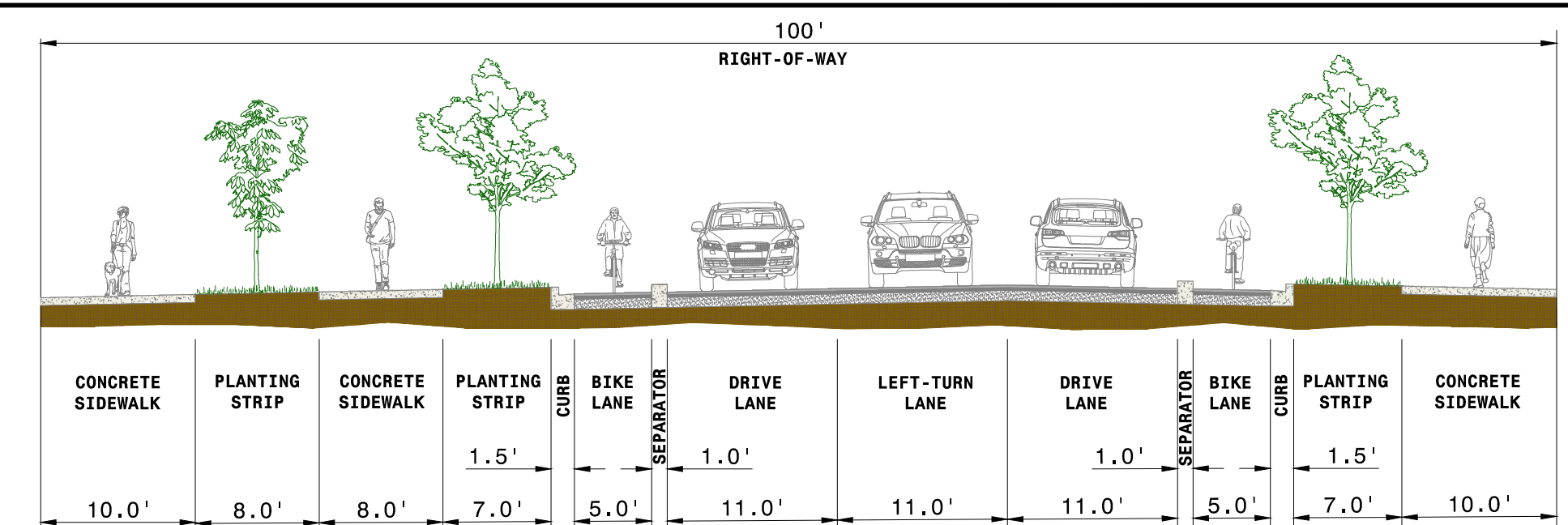
Z:\Shared\001\Drawings\1 PROJ-COLA-COMMERCIAL\THOMPSON WILLIAMS ST PROJECT NUMBER WILLIAMS CAD Exhibit 12025.06.11 Sketch Plan Sheet.dwg, Plotted By: cfreeman, Plotted: Jun 12, 2025 - 4:34pm
 ALL RIGHTS RESERVED © 2025



WILLIAMS ST.
STA. 16+90 - 21+00



WILLIAMS ST.
STA. 0+00 - 11+20
STA. 21+00 - 26+52

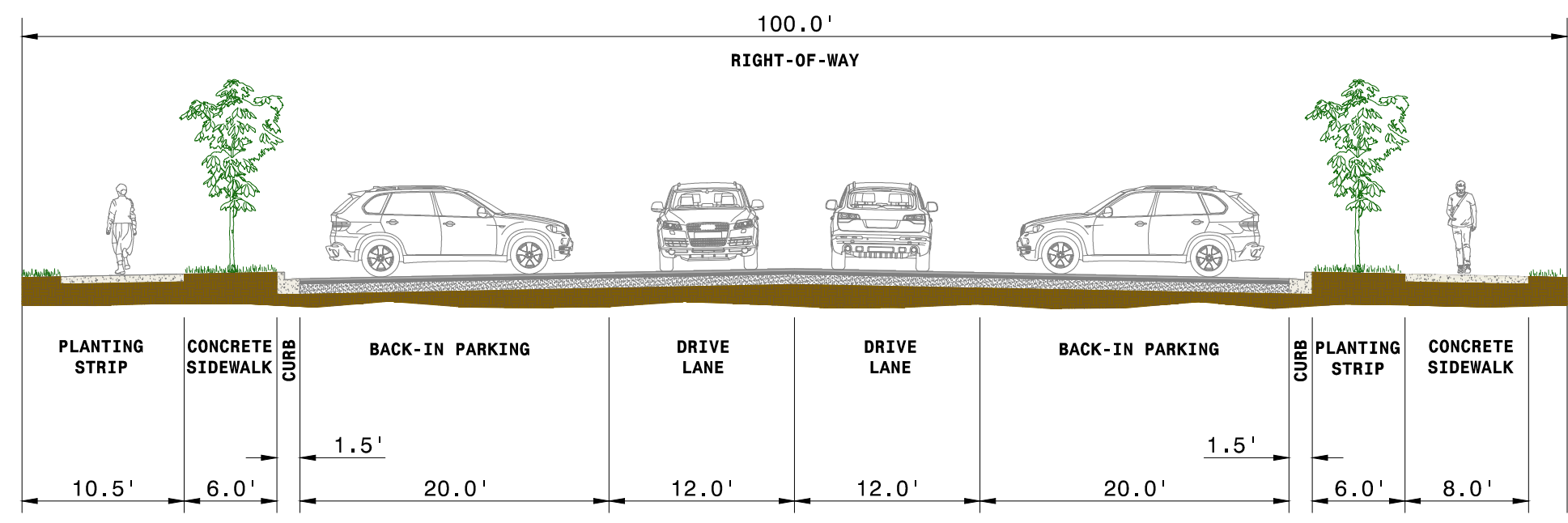


GREENE ST.

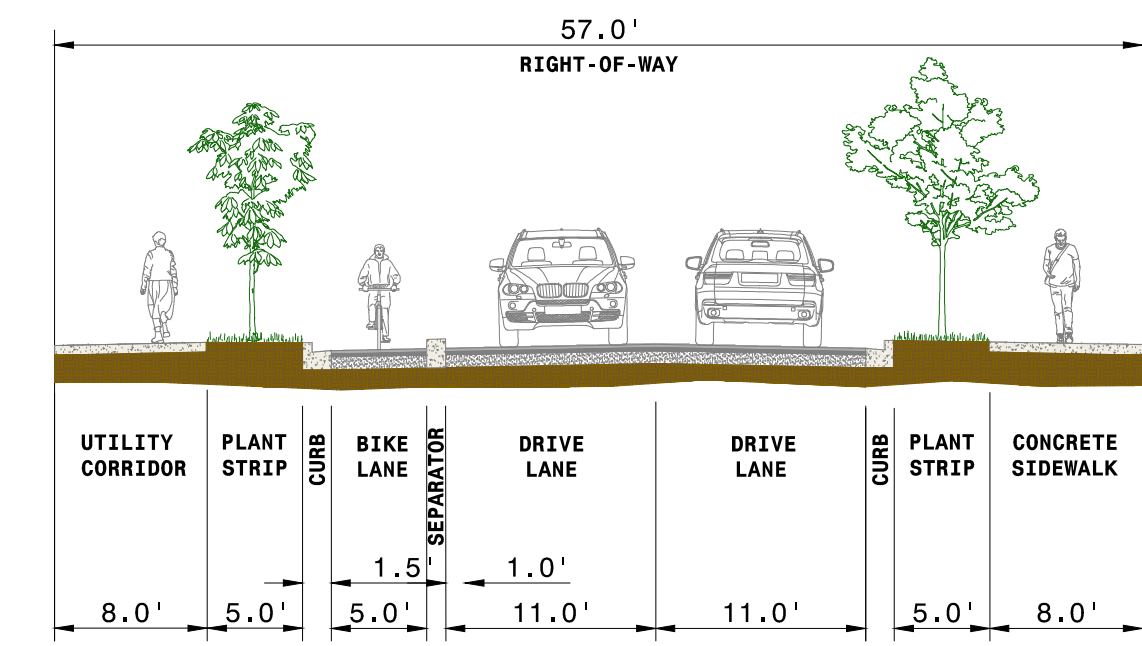
SPEED LIMIT

ALL POSTED SPEED LIMITS WITHIN DEVELOPMENT TO BE 25 M.P.H.

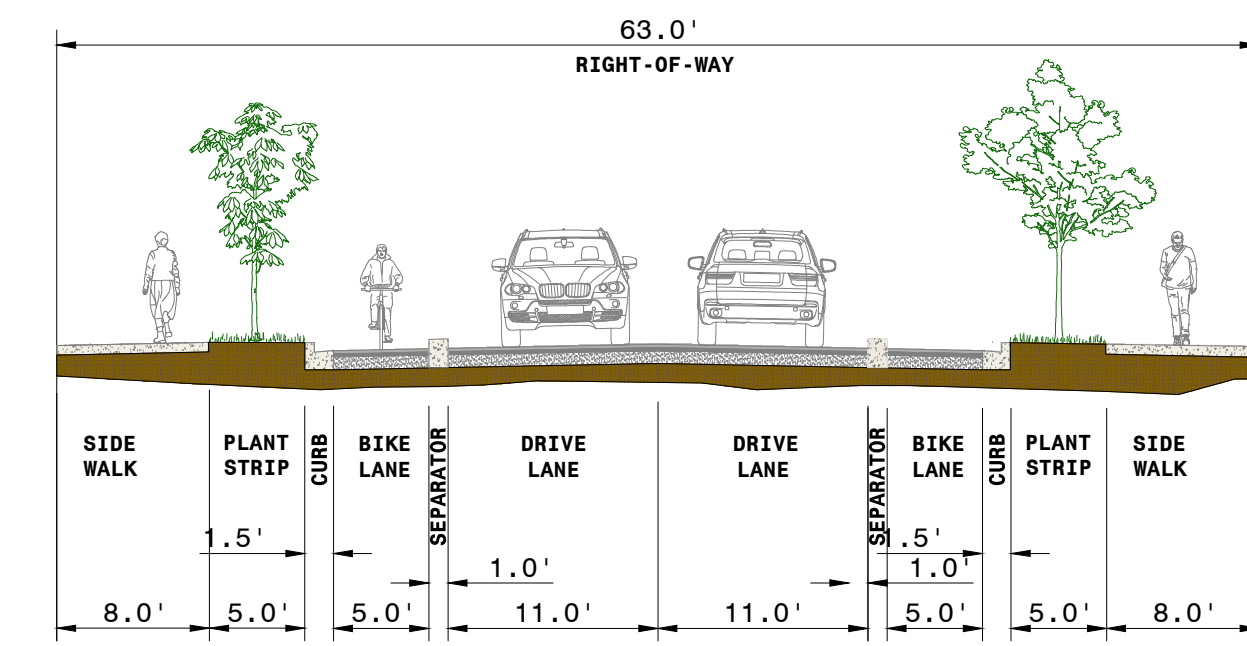
SPEED LIMIT
25



PENDLETON ST.



DEVINE ST.



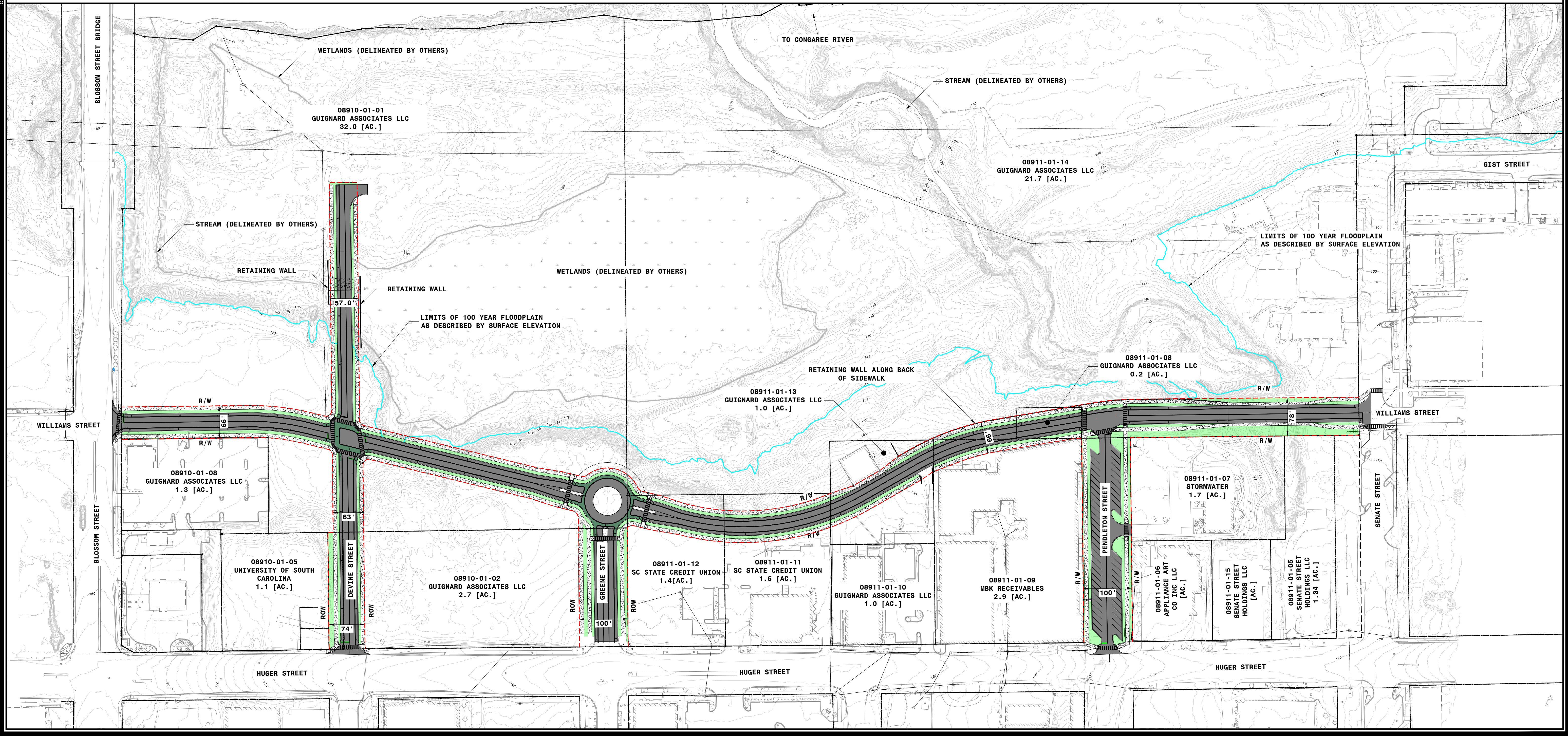
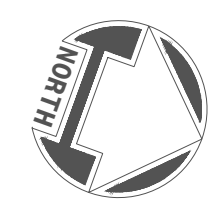
DEVINE ST.

TOTAL AREA OF IMPACTED PARCELS 64.8 [AC.]
 TOTAL AREA OF PROPOSED DEVELOPMENT WITHIN ROW 7.1 [AC.]
 TOTAL OPEN SPACE 1.6 [AC.] / 22.5 %
 EXISTING PROPERTY LINES
 ROW LINES

NOTE: OPEN SPACE IS A CONSIDERATION OF AREAS WITHIN DEVELOPMENT ROW ONLY, NOT TOTAL PARCEL AREA.

PAVEMENT MARKINGS

ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY TO BE THERMOPLASTIC



HUSSEY GAY BELL
Established 1958

REGISTERED PROFESSIONAL ENGINEER
SOUTH CAROLINA
No. 32125

CERTIFICATE OF AUTHORIZATION
SOUTH CAROLINA
HUSSEY, GAY, BELL & DETMERS, INC.
CONSULTING ENGINEERS OF SC
No. 00194



REVISIONS:

DESIGNED: DWJ
 DRAWN: DJF
 CHECKED: TB
 DATE: 06/11/2025
 JOB NUMBER: 324131023
 SCALE: SEE GRAPHIC SCALE

WILLIAMS STREET EXTENSION
COLUMBIA, SC
FOR CITY OF COLUMBIA
 SKETCH PLAN SHEET

DRAWING NUMBER:
EXHIBIT